

BUILDING SURVEY

Level 3

ALLCOTT
RESIDENTIAL



Somewhere Street, Anywhere, Everyplace,
EV1 1WX



Jane Smith



1st October 2019



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1. Introduction

This Building Survey is produced by an RICS surveyor who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

The Building Survey aims to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading of the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- where practicable and agreed, provide an estimate of costs for identified repairs
- make recommendations as to any further actions or advice which need to be obtained before committing to purchase.

No below ground investigations have been carried out and no drainage survey has been undertaken.

2. About the inspection

Report prepared by	Timothy Allcott MRICS, MCIQB, FCABE		
Report checked by	Judy Summers		
Company name	Allcott Associates LLP		
Client name	Mrs Smith		
Date of the instruction	24 September 2019	Date of the inspection	1st October 2019
Report reference number	123456		
Full address and postcode of the property	Somewhere Street, Anywhere, Everyplace, EV1 1WX		
Brief	We have been requested by the above client to carry out a Building Survey of the above property.		
Weather conditions when the inspection took place	Dry, following a period of heavy rain.		
The status of the property when the inspection took place	Occupied and fully furnished.		

3. Understanding your report

Site inspection

Where the terms “right hand” or “left hand” are used, they assume that the reader is facing the front of the property with the main access door situated within the front elevation.

Terminology

Where the expressions immediate, short term, medium term, long term and very long term are used they generally mean the following:

Immediate	Within 1 year
Short Term	Within the next 1 to 3 years
Medium Term	Within the next 4 to 10 years
Long Term	Within 11 to 20 years
Very Long term	Over 20 years

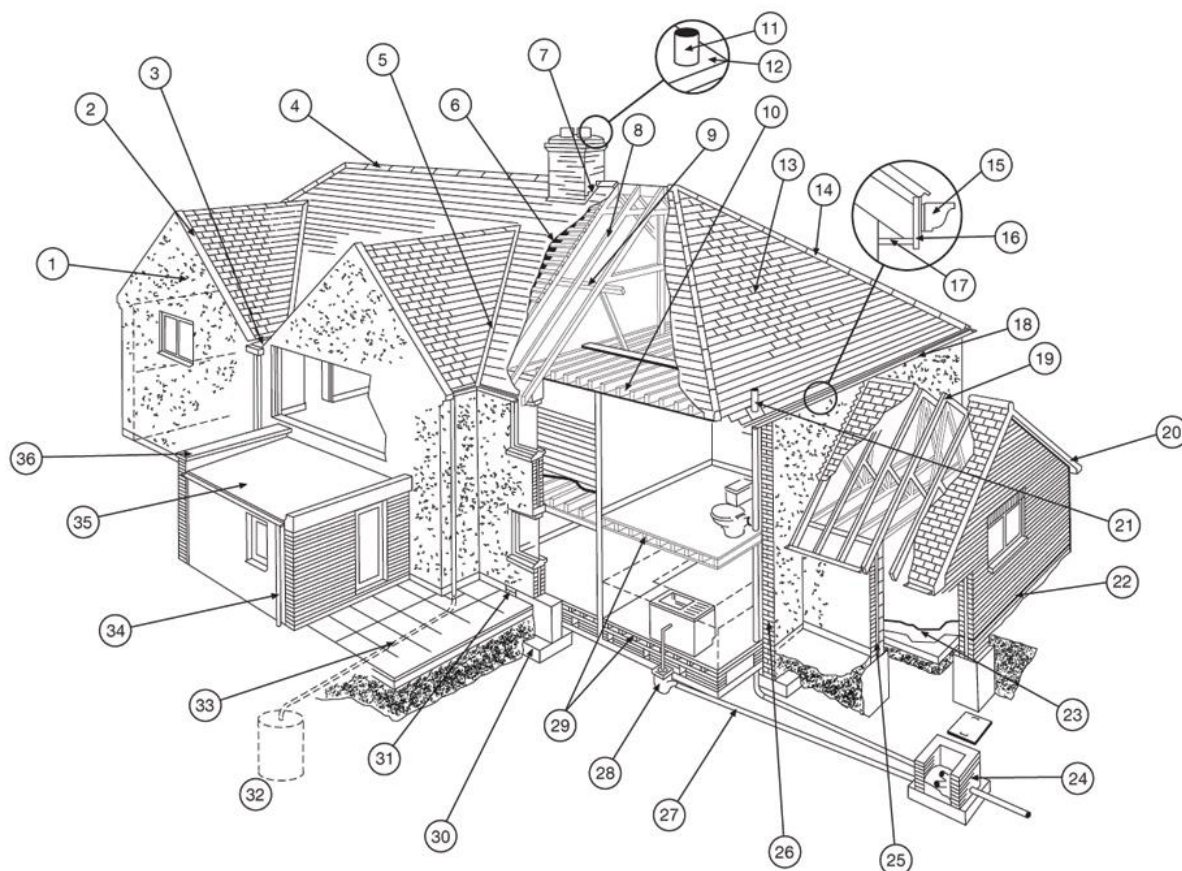
Where relating to structural damage and crack widths the expressions negligible, very slight, slight, moderate, severe and very severe are used they generally mean the following:

Category 0	"negligible"	< 0.1mm
Category 1	"very slight"	0.1 - 2mm
Category 2	"slight"	>2 but < 5mm
Category 3	"moderate"	>5 but < 15mm
Category 4	"severe"	>15 but < 25mm
Category 5	"very severe"	>25 mm

Table 1

Classification of damage to buildings based on crack widths

4. Typical house diagram



KEY

1 Gable end wall	14 Hip tiles	25 Cavity wall
2 Verge	15 Gutter	26 Solid Wall
3 Valley gutters	16 Fascia	27 Foul drain
4 Ridge tiles	17 Soffit	28 Gully
5 Valley	18 Eaves	29 Floor joists
6 Roofing felt	19 Roof trusses	30 Foundation
7 Flashing	20 Barge board	31 Airbrick
8 Rafter	21 Soil-and-vent pipe	32 Soakaway
9 Purlin	22 Damp-proof course (DPC)	33 Surface water drain
10 Ceiling joists	23 Damp-proof membrane (DPM)	34 Downpipe
11 Pot	24 Inspection chamber	35 Flat roof
12 Cement		36 Parapet
13 Hip roof		

5. General description of the property

The property is a two-storey detached property. It appears to have been originally built around 200 – 300 years ago, and later extended towards the rear.

The external walls are of traditional load bearing construction with stone elevations.

The roofing is pitched and finished with plain concrete tiling.

Internally the floors are of timber construction to the first floor and solid construction to ground floor.

There is garaging with the property.

The property has front, side and rear gardens. These are private and enclosed.

Energy

Mains Services

The marked boxes show that the mains services are present.

☐ Gas ☒ Electricity ☒ Water ☒ Drainage

Other services or energy sources

☐ Solid fuel ☒ Oil ☐ None

Security system

☒ Yes ☐ No

The property is fitted with a burglar alarm. An automatic cut out device must be in place. Your legal advisers should check for any service records.

Fire Detection

No fire/smoke alarms are fitted in the property. We would recommend installing a linked smoke alarm system that is mains wired.

6. External condition of the property

In this section of our report, we summarise the defects noted and principal concerns regarding the external condition of the property.

Front Elevation

There are chimneystacks to left and right. These are in brick construction with dressed lead flashings to the left and mortar flaunching to the right. Both appear in a satisfactory structural order at the time of survey. There are slight historic deformations though no indications of recent or ongoing significant movement or significant structural compromise. These are therefore considered satisfactory.



The deformations are in line with expectations for a property of this age and construction and there are no indications of recent or ongoing significant movement or significant structural compromise.

Both chimneys are finished with flue terminals atop. These generally appear in a satisfactory order. We are however unable to inspect any seating/bedding to the flue terminals and must limit our reporting in this respect. We recommend the seating/bedding to the chimney heads be inspected when high level access is next available to the property together with the completion of any necessary additional remedial repairs identified at that time.

The roof is pitched and finished with plain concrete tiling. We found no missing, damaged or displaced tiling and the ridge tiling appears in satisfactory order generally though with some localised repointing against the chimney positions. We have included a provisional apportionment in this respect.

The porch roof is finished with plain clay tiling again to pitched surfaces and the porch is finished with a mortar flaunching against the house. This generally appears in satisfactory order. The porch roof edging is finished with a fibreboard type sheet undercloak supporting mortar bedding to the tile edging. This generally appears in satisfactory order. It should be

noted that sheet undercloak materials of this type in properties of this age can contain asbestos fibres and we refer you to our advices below in this respect.

The plastic rainwater guttering and fall piping generally appear in a satisfactory order with no obvious evidence of significant leakage or overflowing.

The guttering is secured through a timber fascia arrangement and this generally appears in satisfactory order.

The elevation is in load bearing construction finished externally with stone finishes. There is an area of render finishing at high level towards the left. The render finishes appear in satisfactory condition for their age.

Our inspection to the elevation was limited by trailing vegetation and our reporting must be limited in this respect. We recommend the elevation is reinspected when the vegetation is next cut back or removed, together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.



Our inspection continues to those areas visible to our inspection at the time of survey.

Minor cracking was indicated at the juncture of the entry porch and historic construction.



The porch is a later addition and such cracking is not unusual at the juncture of building phases. There are no indications of significant structural compromise. Our recommendation is limited to localised repointing to maintain the weathertight envelope to the area.

Minor cracking was indicated to the right of the porch at first floor level.



Such minor cracking is not unusual in a property of this age and construction. There are no indications of significant structural compromise. This is considered satisfactory. Repairs are limited to repointing and we recommend the use of a lime based mortar.

The elevation is largely repointed in cementitious mortars. We do not recommend the use of cementitious materials in properties of this age and construction as this can serve to divert moisture internally. Lime-based mortars are designed to both absorb and desorb moisture levels naturally. We recommend the use of lime-based mortars when repointing to the property.

There were however no indications of any significant deleterious affect arising from the cementitious mortars and there is no requirement for repointing at this stage. We would also highlight the propensity of cementitious mortars being rigid and brittle to crack

disproportionately under normal seasonal movement conditions for a property of this age and construction.

There are no indications of any built in or injected damp proof coursing. This reflects the age and construction of the property and should not be considered a defect. We do not recommend the introduction of a built in or injected damp proof coursing because, similarly to the use of cementitious mortars, this can limit normal absorption and desorption of moisture leading to moisture concentrations and internal transfer. There are no indications of any such issues at the time of survey. We recommend that when the property is next repointed, lime-based mortars are used.

The door and window installations are in timber, incorporating single glazing with leadwork detailing. These generally appear in a satisfactory condition.

Support over the door and window installations is provided by timber lintel detailing. These generally appear in a satisfactory order with no significant damage, decay, deformation or structural failure indicated.

There are indications of historic insect activity to the exposed external timberwork. There are no indications of recent or ongoing insect activity or significant structural compromise.

The entry porch is finished internally with timber boarded finishes to the ceiling. These generally appear in satisfactory order.

The entry porch has a ceramic tiled finish to the floor. These generally appear in a satisfactory order.

Left Elevation



The left most chimney described to the front elevation again presents to the left gable and this is as previously described with no significant additional issue indicated.

The roof edge detail is formed with an oversailing concrete tile edging with mortar bedding to the wall head. This generally appears in satisfactory order.

The wall head is finished with render finishes. Excepting minor cracking this generally appears in satisfactory order. We recommend localised repairs to maintain the weathertight envelope to the building and have included a provisional apportionment in this respect.

There is minor separation cracking between the chimney and the render finishes reflecting normal seasonal movement.



We have included provisional apportionment for the introduction of a flexible joint detail in this position.

The elevation is in load bearing construction finished externally with stone finishes generally and render finishes at high level where the property has been extended upward.



There were indications of historic wall deformations in particular around the base of the chimney and above eaves level.



We are mindful of the propensity of cementitious mortars to disproportionately exhibit cracking. There were no indications of recent or ongoing significant cracking or significant structural compromise. Minor cracking was indicated, but considered to reflect normal seasonal movement and we have included provisional apportionment for repointing repairs locally.

Our inspection at low level was limited by the extent of trailing vegetation against the elevation. The positioning of a trailer to the front of the area and oil tank to the rear restricted access to the area and visual access to the elevation.



Our reporting must be limited in this respect. We recommend the elevation and area are inspected when the vegetation is next cut back or removed together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

No inspection of any built-in or injected damp proof coursing was possible. We refer to our advice above in this respect.

There are three windows to the elevation. No meaningful inspection was possible of the ground floor windows given the access limitations and our reporting must be limited in this respect.

The first floor window is in timber incorporating single glazing with leadwork detailing. This generally appears in satisfactory order.

The timber lintel detailing above the first floor window generally appears in satisfactory order with no significant damage, decay, deformation or structural failure indicated. There are indications of historic insect activity to the first floor lintel though no indications of ongoing insect activity or significant structural compromise.

No inspection of the ground floor lintel detailing was possible given the access limitations and our reporting must be limited in this respect.

The elevation is largely repointed in cementitious mortars. We refer to our previous advices in this respect.

There is external lighting to the front left corner. This generally appears in serviceable order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

Right Elevation

Our inspection to the right is limited to the historic building range to the front. Our inspection beyond will be described with the rear elevation.

The rightmost chimney described to the front elevation presents to the elevation. This is as previous described with no additional significant issues indicated.



The roofline is indicated to have been extended upwards historically. We recommend enquiries via your Solicitor to ascertain the date of building works, together with a confirmation of completion of any requisite Statutory Approvals where required. Your Solicitor should also confirm that all requisite statutory building inspections were completed at the time of works if required.



The roof edge detail presents with an oversailing edge tile detail and mortar bedding to the wall head. This generally appears to be in satisfactory order.

The elevation is a load bearing construction finished externally with stonework to the elevation generally and where render finishes at high level and where brickwork finishes to the chimney. We found no evidence of significant cracking or structural deformation to the main load bearing walls.

Minor cracking was indicated between the render finishes and chimney and this indicates displacement cracking. There are no indications of significant structural compromise or recent or ongoing movement and repair is limited to localised sealing to maintain the weathertight envelope to the building.

There is minor cracking to the chimney.

The chimney shows evidence of distortion historically. This is not unusual in a property of this age and construction. There are no indications of recent or ongoing significant movement or significant structural compromise and this is considered satisfactory.





We have included provisional apportionment for localised repair.

At low level there is a further brick and stone-built structure with concrete plain tiling and mortar flaunching.

Cracking is indicated to the right to the low-level structure and this was measured in the order of 6mm width.



We have included provisional apportionment for masonry reinforcement and repair in this respect.

Otherwise, our inspection to the low-level structure was largely limited by the extent of vegetation externally and of the owners' possessions internally. We must limit our reporting in this respect. We recommend the structure is inspected internally and externally when the vegetation is next cut back or cleared and the possessions cleared together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

There were no indications of any built-in or injected damp proof courses. We refer to our previous advices in this respect.

There is a timber window with single glazing and leaded detailing at high level. This generally appears in satisfactory order.

Support above the timber window is provided by timber lintel detailing. This generally appears in a satisfactory order with no significant damage, decay, deformation or structural failure indicated. There are indications of historic insect activity to the lintel detail. There are no indications of recent or ongoing insect activity or significant structural compromise.

There is external lighting. This generally appears in satisfactory order though was not observed in operation at the time of our inspection and we must limit our report in this respect.

Garage

The garage roofing is hipped and pitched and finished with plain concrete tiling. This generally appeared in satisfactory order with no obvious areas of significant missing, damaged or displaced tiling and the ridge and hip tiling appears in satisfactory order.

The roof edge detailing where gabled is formed with a sheet fibreboard undercloak supporting mortar bedding to the tile edging. These generally appear in a satisfactory order. We would highlight that sheet fibreboard materials in properties constructed prior to the year 2000 may contain asbestos fibres and refer to our advice below in this respect.

The roof valleys were largely obscured by leaf and needle litter. These should be cleared as a maintenance item together with the completion of any necessary additional remedial repairs identified once cleared. Our reporting is limited in this respect. No apportionment is included in this respect.

The plastic rainwater guttering and fall piping generally appear in a serviceable order although with some ponding and we recommend the guttering is releveled locally in this respect.

The elevations are in load bearing construction finished externally with stone, concrete block, brick and render finishes.

We found no evidence of significant cracking or structural deformation to the main load bearing walls generally. Minor cracking was indicated above both front vehicular doors and below the position at the junction of building units to the rear.



There are no indications of significant structural compromise. Our recommendation is limited to localised repair. We have included provisional apportionment in this respect.

Otherwise the external finishes generally appear in a serviceable order.

To the front there are paired garage doors with a timber facing set within metal framing all set within timber door framing. These generally appear in a satisfactory order.

Support above the entry doors is provided by steel lintel detailing. These generally appear in a satisfactory order with no significant damage, decay, deformation or structural failure indicated.

Rear Elevation

Our survey to the rear includes the more modern right facing elevations together with the rear elevation at high level.

The chimneys present as previously described with no additional significant issue or compromise. We refer to our advices above in this respect.

There is a further truncated chimney straddling the rear ridge position. This generally appears in a serviceable order. There is a chimney capping indicated. The chimney should not be considered suitable for re-use without further adaptation. The chimney is finished with dressed lead flashings and these generally appear in satisfactory order.

The rear roofing is pitched and to the conservatory also hipped and finished with plain concrete tiling. We found no areas of significant missing, damaged or displaced tiling and the ridge tiling and concrete hip detailing generally appear in a satisfactory condition.

There are dressed lead flashing details to valleys and around the dormer constructions. These generally appear in a satisfactory condition.

The roof gable edging is formed with a sheet fibreboard type undercloak supporting mortar bedding to the tile edging. These generally appear in a satisfactory order.

We refer to our previous advices in respect of fibreboard materials and potential asbestos content.

The dormer windows are finished with timber weatherboarding details. These generally appear in satisfactory order.

The plastic rainwater guttering and fall piping generally appear in a satisfactory condition though with some ponding indicating negative fall and we have included provisional apportionment for release and releveling of guttering in this respect.

The walls are in load bearing construction finished externally with stonework finishes to the front and render finishes elsewhere. We found no evidence of significant cracking or structural deformation to the main load bearing walls. Minor render cracking was indicated in line with expectations for a property of this age and construction. There are no indications of significant structural compromise and this is considered satisfactory.

Minor cracking is indicated below the living room right window and there is similar minor cracking above. Both are indicated of historic nature and there are no indications of recent or ongoing significant movement to the walling or significant structural compromise.



Our recommendation is limited to localised masonry reinforcement and repair.

There were no indications of any built-in or injected damp proof courses although this may be concealed by building materials and we must limit our reporting in this respect. We found no evidence of significant water entry or the associated issues internally.

We are mindful that the property is built into the sloping site and highlight that we found no indications of significant water entry or such issue indicated internally.



The conservatory structure is in timber above low stone plinth walling. This generally appears in satisfactory order.

The door and window installations are in timber incorporating a combination of single glazing with leadwork detailing and sealed unit double glazing panels. These generally appear in a satisfactory order with the exception of a blown glazing pane to the rear of the conservatory which should be replaced.

There is external lighting. This generally appears in satisfactory order. It was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

7. Internal condition of the property

In this section of our report, we summarise the defects noted and principal concerns regarding the internal condition of the property.

Garage and Workshop Area Internal Accommodation



The two areas appear of similar date and construction and are addressed as a single area for reporting purposes.

The roof construction is concealed behind ceiling boarding to the garage accommodation. There is an access hatch and ladder access arrangement. The roofing is formed with prefabricated timber trusses and these generally appear in a satisfactory structural order with no obvious significant compromise.

The roof is finished with a built-up roofing felt lining. This generally appears in satisfactory order.

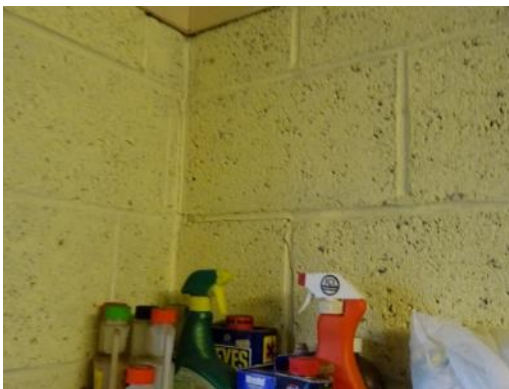
Inspection from below shows various areas of water damage and these were confirmed active when tested with the use of a moisture meter.



There were no obvious indications of significant compromise to the roof membrane and the source of moisture is unclear. We are however mindful of the significant extent of the owners' possessions to the area and must limit our reporting in this respect.

We recommend further inspection following clearance of the owners' possessions together with the completion of any necessary additional remedial repairs identified at that time. Our apportionment is included in this respect.

The walling is in blockwork construction. We found no evidence of significant cracking or structural deformation to the main load bearing walls generally. There is a localised issue adjacent to the cracking to the rear. We have included provisional apportionment for localised masonry reinforcement and repair.



The garage floor is in concrete finishes. Where visible for inspection this generally appears in satisfactory order. There are significant areas of flooring concealed by the owners' possessions and we must limit our reporting in this respect. We recommend the flooring is inspected when access is next available following clearance of the owners' possessions together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.



The rear of the two rooms has low level fitted units. These generally appear in serviceable order.

Support over the door and window installation is provided by steel lintel detailing externally and concrete lintel detailing internally. Which generally appears to be in satisfactory order with no significant damage, decay, deformation or structural failure indicated.

The garage door handles are not secured. We recommend these are installed.

To the rear of the garage there are built-in storage cupboards alongside the pergola arrangement. These generally appear in a satisfactory order.

Entry (Left Room)



The ceiling is formed with plaster finishes and set between the ceiling joists. The ceiling distorts reflecting the age and construction of the property though was within expectations

for a property of this age and construction. There are no indications of recent or ongoing movement or significant structural compromise.



The walls have received direct plaster and board and skim finishes and generally appear in a satisfactory condition with no evidence of significant cracking. There are distortions around the room reflecting the age and construction of the property. These were in line with expectations for a property of this age and construction. There were no indications of recent or ongoing movement or significant structural compromise and these were considered satisfactory.



The solid floor is overlaid with fully fitted carpet finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage. Minor distortions were indicated in line with expectations for a property of this age of construction.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

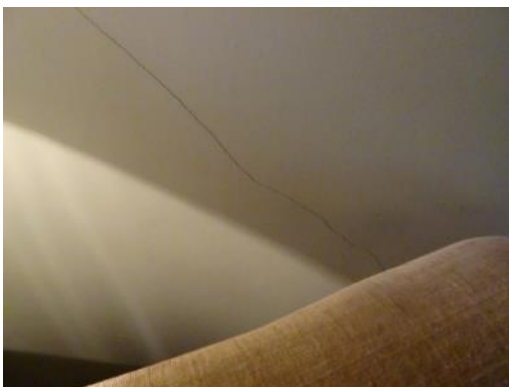
The internal joinery including gloss and varnish finished skirtings, door frames, doors, cills and exposed and historic structural timberwork generally appear in a satisfactory order.

There are widespread indications of historic insect activity to the exposed timberwork. There were no indications of recent or ongoing insect activity or significant structural compromise and these are considered normal in a property of this age and construction.

Minor cracking was indicated around the door opening positions. This is in line with expectations for a property of this age and construction. In the absence of any significant structural compromise this is considered satisfactory. Typical detail shown.



Further minor cracking was indicated to the left rear walls within the inglenook fireplace position. These were measured and confirmed in the order of 0.5mm width and less. Typical detail is shown.





The cracking was not indicative of significant structural compromise though may be indicative of normal movement between chimney and house constructions in a property of this age and construction. We are mindful that the plaster finishes have been refinished in gypsum plaster finishes which has the propensity to crack disproportionately under normal seasonal movement condition because it is a rigid and brittle material.

No external inspection was however possible given the access limitations and planting against the elevation. Our reporting has been limited in this respect. The cracking, whilst not indicative of significant structural movement, is indicative of localised loss of bond to the materials behind the plasterwork and we have included provisional apportionment in this respect for opening up, further intrusive inspection and repair.

The stair exits from this room. The stair is a historic arrangement and has a door across the base.



Modern Building Regulations do not allow the positioning of doors across the base of stairs though there are no retrospective requirements in this respect and in a historic property this is considered satisfactory.

There is an understairs cupboard accessed from the room. This appears similarly constructed and finished to the remainder of the area and in a satisfactory condition.

Kitchen



The ceiling is formed in plaster finishes. There is some slight distortion reflecting the age and construction of the property.



There are no indications of recent or ongoing movement or significant structural compromise and this is considered satisfactory in a property of this age and construction.

The walls have received direct plaster finishes and are supplemented with ceramic tiling to the front wall behind worktops and the Aga range. We found no evidence of significant cracking, structural deformation or wear and tear. Minor cracking and deformation were indicated in line with expectations for a property of this age and construction. These were considered satisfactory.



Minor cracking was indicated to the flanking wall to the range opening. The cracking was measured in the order of 0.6mm width and less. Notably the cracking is indicated to the exterior of the area but not internally, suggesting this may be historic. In the absence of any significant structural compromise this is considered cosmetic and should be made good at the next redecoration.

The solid floor is overlaid with ceramic floor tile finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage.

No fixed radiator was indicated to the area. Our reporting is limited in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors, wall wainscot boarding, service cupboard and exposed structural timberwork generally appeared in a satisfactory condition.

The service cupboard houses the incoming electrical main and distribution boarding. These generally appear in satisfactory order. The distribution boarding is provided with independently fused switched circuits.

We are not aware of any service arrangement for the electrical installation and recommend this is inspected and serviced shortly following purchase by a suitably qualified NICEIC approved electrical engineer if servicing has not been carried out in the last 12 months.

The kitchen features a range of both high level and low level fitted units. These appear modern and generally in a satisfactory condition.

We are not in the position to report on the condition or safety of the integrated appliances (ceramic/induction hob oven and Aga installation).

We are advised that the Aga is adapted for oil fuel. We recommend enquiries via you Solicitor to confirm any servicing certification. If this has not been inspected/serviced within the last 12 months then we would recommend inspection/servicing by a suitably qualified OFTEK registered engineer shortly following purchase.

There were no indications of mechanical extract ventilation to the kitchen. Though not a requirement of our reporting we do recommend the installation of mechanical extract ventilation when the opportunity next arises.

Utility Room

The ceiling is formed in plaster finishes. We found no evidence of significant cracking or structural deformation.

The walls have received both direct plaster and board and skim finishes and are supplemented with ceramic tiling behind the sink area. We found no evidence of significant cracking or wear and tear.

There are indications of historic distortions to both walls and ceiling in line with our findings elsewhere around the property. There are no indications of recent or ongoing movement or significant structural compromise.



The solid floor is overlaid with ceramic floor tiling. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage. Minor distortions were indicated but considered in line with expectations for a property of this age and construction.

No fixed heating was indicated to the area. Our reporting is limited in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors and cill generally appear in a satisfactory order.

The area features a range of both high level and low level fitted units. These generally appear in a satisfactory condition.

The oil-fired boiler serving the property is located to the area. This generally appears in serviceable order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

We are not aware of any service arrangements for the boiler and recommend this is inspected/serviced by a suitably qualified OFTEC registered engineer shortly following purchase if servicing has not been carried out in the last 12 months.

The area is indicated with mechanical extract ventilation. We are unable to confirm this as being in operation at the time of our inspection.

Sun Room (Conservatory)



The ceiling is formed in plaster finishes including to underdrawn surfaces. We found no evidence of significant cracking or structural deformation.

The walls have received board and skim finishes and direct plaster finishes to the left though otherwise are exposed to stone finishes. We found no evidence of significant cracking or wear and tear.

The floor is indicated raised above a solid construction. The floor is finished with timber boarding. The floor was reasonably level and true for a property of this age and construction with some distortion towards the left. We found no evidence of significant deflection, undulation or damage.

The radiators to the area were not in operation at the time of our inspection and we must limit our reporting in this respect.

Internal joinery including gloss and varnish finished skirtings, door frames, doors, internal cills and shelving and exposed structural framing generally appear in a satisfactory order. There is some drying back/minor movement around the lintel above the opening to the kitchen. There are no indications of recent or ongoing issue or significant structural compromise and we have included a provisional apportionment for the introduction of slate packing and refinishing to pointing.



There is a blown glazing pane to the rear. We have included provisional apportionment in this respect for replacement.



Front Right Room



The ceiling is formed in plaster finishes inset between ceiling joists. The ceiling distorts reflecting the age and construction of the property and there is some similar distortion to the principle beam towards the rear of the room. There were no indications of recent or ongoing movement or significant structural comprise and any distortions were in line with expectations for a property of this age and construction. These are considered satisfactory.



The walls are finished in a combination of exposed stonework and direct plaster finishes. The walls again show distortion reflecting the age and construction of the property though again these were in line with expectations for a property of this age and construction.



Minor cracking was indicated beneath the principle beam where this bears above the bressummer.



These were indicated of some age. There are no indications of recent or ongoing significant movement or significant structural compromise and these are considered satisfactory.

Further minor cracking was indicated to the right of the fireplace position just below ceiling level.



Again there were no indications of recent or ongoing significant movement or significant structural compromise and this is considered satisfactory.

Minor cracking was also indicated around the splayed window position to the rear right corner of the room. The cracking was indicated in the order of 1mm width or less.



In the absence of any significant structural compromise this is considered cosmetic and normal for a property of this age and construction. There were no works arising from our reporting in this respect.

There is some staining to the walling at low level to the front below the window position and within the chimney recess.





These are often indicative of water staining/water ingress. These were checked with a moisture meter and there were no indications of significant elevated moisture levels at the time of survey. Slightly elevated moisture levels were indicated in line with expectations for a property of this age and construction. This is normal within historic construction.

The solid floor is overlaid with fully fitted carpet finishes. The floor appears reasonably level and true for a property of this age and construction with some minor distortions in line with our expectations for a property of this age. The floor was generally firm underfoot with no evidence of significant deflection, undulation or damage.

The radiators to the area were confirmed in operation at the time of our inspection.

The internal joinery including gloss and varnish finished architrave, door frames, doors, built in shelving and exposed historic/structural timberwork generally appear in a satisfactory order.

There are indications of historic insect activity. There are no indications of recent or ongoing insect activity or significant structural compromise.

The chimney recess has a fitted multi-fuel type stove. This generally appears in satisfactory order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

There is a small ceiling hatch to the rear of the room. This was sealed at the time of survey with no access available and we must limit our reporting in this respect. The hatch was indicated through to the floor void above and may contain service fittings.

Rear Office Area



The ceiling is formed in plaster finishes. We found no evidence of significant cracking or structural deformation.

The walls have received board and skim finishes and generally appear in a satisfactory condition with no obvious evidence of significant cracking or wear and tear. We are mindful that the rear of the room is set into the sloping ground around the property. There were no indications of obvious or significant water penetration to the interior.

At high level to the right there is a through bolt installation. Externally the detail is concealed behind the guttering installation. There are no indications of recent or ongoing movement or significant structural compromise.

The solid floor is overlaid with laminate boarded finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage.

The radiator to the area was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors, cill and built in shelving generally appear in a satisfactory condition.

There is a secondary door to the front left to the utility room.

To the rear right there is access to a **ground floor shower room**.



The ceiling is formed in plaster finishes. We found no evidence of significant cracking or structural deformation.

The walls have received board and skim finishes and are supplemented with ceramic tiling behind the wash hand basin and to the shower area. We found no evidence of significant cracking or wear and tear. We are again mindful that the room is inset back into the sloping ground of the site and again notably we found no obvious or significant water ingress or damp issues.

The solid floor is overlaid with laminate boarded finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frame, door and service housing generally appear in a satisfactory condition.

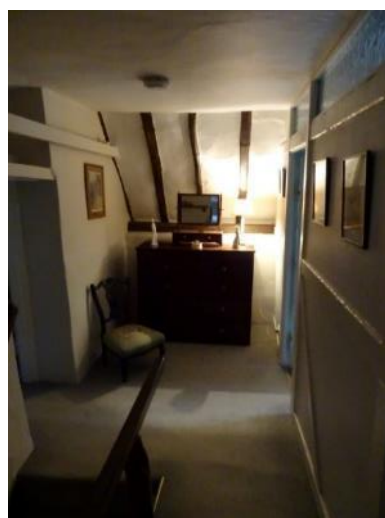
The sanitary fittings appear relatively modern and generally in a satisfactory condition with no obvious evidence of significant leakage or other compromise. The fittings comprise shower within cubicle, concealed cistern WC and vanity mounted wash hand basin.

The area is lit by inset ceiling lighting. This does not appear to be ingress protection rated and we are aware of the proximity of the lighting to the shower enclosure. We have included a provisional apportionment for replacement of the light fitting nearest to the shower with an IP67 rated fitting.



The area is provided with mechanical extract ventilation to the left. This was confirmed in operation at the time of our inspection.

Stairs/First Floor Landing



The ceiling is formed in plaster finishes. The more modern ceilings are in gypsum plaster. The historic ceilings to the front landing area are in lath and plaster including insets between historic rafters.

The historic ceilings show evidence of deformation in line with expectations for a property of this age and construction. There are no indications of recent or ongoing deformation or significant cracking or structural compromise.



The walls have received direct plaster finishes and board and skim finishes. The walls show historic deformation in line with our expectations for a property of this age and construction.



Minor cracking was indicated at the junction between direct plaster and lath and plaster finishes to the right wall adjacent to the doorway position.



The cracking was indicated in the order of 0.35mm width and less and considered cosmetic.

Otherwise there were no indications of recent or ongoing significant movement or significant structural compromise and the walls were considered satisfactory.

The suspended timber floor is overlaid with fully fitted carpet finishes. To the front area there are some undulations, distortions and historic minor board movements underfoot reflecting the age and construction of the property. These are in line with expectations for a property of this age and construction.

To the rear the floor was generally in a satisfactory order. The floors were generally firm underfoot with no evidence of significant deflection, undulation or damage.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors, shleving and exposed historic and structural timberwork, stair handrailing and balustrading generally appear in a satisfactory condition. The balustrade would not meet the requirements of the modern Building Regulations there are no retrospective compliances required and this is considered satisfactory.



You may wish to consider introducing additional balustrading elements to improve safety though there are no requirements arising from our reporting in this respect and no apportionment included in this respect.

There are indications of historic insect activity to the exposed structural timberwork. There are no indications of recent or ongoing insect activity or significant structural compromise and this is considered satisfactory.

There is a hot water cylinder cupboard to the left. This is similarly constructed and generally in a satisfactory condition. The hot water cylinder is a copper installation with bagged insulation sleeve and thermostat control. This generally appears in satisfactory order.

There is minor cracking between the walls at the juncture by the hot water cylinder cupboard. This is not considered of significant structural consequence neither being load bearing and as a cosmetic repair should be made good at next redecoration. Typical detail shown.



The stairs are of historic construction. These would not meet modern Building Regulation requirements though there is no requirement for retrospective compliance and these are considered satisfactory.

Front Left Bedroom



The ceiling is formed with lath and plaster finishes inset between exposed historic rafters. The ceiling shows some distortion and deflection reflecting its age and construction. There are no indications of recent or ongoing significant structural issue.

The ceiling distortions were in line with expectations for a property of this age and construction.



The walls have received both direct plaster and board and skim finishes. The historic walling shows some distortion reflecting the age and construction of the property and minor cracking was indicated above the window position though not considered of significant structural consequence and as a cosmetic repair should be made good at next redecoration.



The cracking was indicated in the order of 0.4mm width and less.

There is a significant batter to the chimney hood above the inglenook below. This is normal in a property of this age and construction and considered satisfactory. Minor cracking was indicated to the hood walling. This was not considered significant structural and as a cosmetic repair should be made good at next redecoration.



The suspended timber floor distorts significantly reflecting the age and construction of the property. There are no indications of significant deflection, undulation or damage and the distortions were in line with expectations for a property of this age and construction.

There is some creaking to the floorboarding. This is to be anticipated in a property of this age and construction.

The radiator to the area was confirmed in operation at the time of our inspection.

Internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors, timber screening, cills and roof strapping generally appear in a satisfactory order.

The roof strap runs from front to rear and generally appears in satisfactory order. There are no indications of recent or ongoing significant structural compromise.



There are indications of historic insect activity to the exposed structural timberwork. There are no indications of recent or ongoing insect activity or significant structural compromise and this is considered satisfactory.

There is built in wardrobing to the front right corner. This appears similarly constructed and generally in a satisfactory condition.

Front Right Bedroom



The ceiling including inset underdrawn sections between rafters is in plaster finishes. The historic finishes are in lath and plaster. The ceilings distort reflecting the age and construction of the property in line with the structural deformations. This is in line with expectations for a property of this age and construction and there were no indications of significant structural compromise.

The historic roof structure has distorted significantly. Again this is not unusual in a property of this age and construction and the distortions were in line with expectations for a property of this age and construction. There are no indications of recent or ongoing movement or significant structural compromise and this is considered satisfactory.

Minor cracking was indicated at the juncture between wall and ceiling finishes.



This is to be anticipated in a property of this age and construction reflecting normal seasonal movement. There are no indications of significant structural compromise and this is considered satisfactory.

Historic cracking was indicated to the right wall and in addition there were historic deformations to the walling.



These are in line with expectations for a property of this age and construction. There are no indications of recent or ongoing significant movement or significant structural compromise and these are considered satisfactory.

There is a timber strapping detail between the front and rear roof slopes similar to that to the front left room.



There were no indications of subsequent recent or ongoing movement or significant structural compromise.

The suspended timber floor is overlaid with fully fitted carpet finishes. The floor distorts significantly reflecting the age and construction of the property. The floor was however generally firm underfoot with no evidence of significant deflection, undulation or damage.



The radiator to the area was confirmed in operation at the time of our inspection.

There was minor cracking to the walling though not considered significant structurally and as a cosmetic repair should be made good at next redecoration.



Internal joinery including gloss and varnish finished door frame, door, cills and exposed historic and structural timberwork generally appear in a satisfactory condition. There are widespread indications of historic insect activity. This is not unusual in a property of this age and construction. There were no indications of recent or ongoing insect activity or significant structural compromise.

House Bathroom



The ceiling is formed in plaster finishes. We found no evidence of significant cracking or structural deformation.

The walls have received board and skim and direct plaster finishes and are supplemented with ceramic tiling around the shower area and wanscot timber boarding elsewhere around the room. We found no evidence of significant cracking or wear and tear.

The suspended timber floor is overlaid with laminate board type finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant distortion deflection undulation or damage.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architrave, door frame, door, wainscot boarding and cill generally appear in a satisfactory order.

The sanitary fittings are historically styled though appear relatively modern and generally in a satisfactory condition with no obvious evidence of significant leakage or other compromise. The fittings comprise bath with hand shower attachment over, pedestal mounted wash hand basin and WC with wall mounted cistern.

The area does not appear to be provided with mechanical extract ventilation and though not a requirement of our reporting we do recommend the introduction of mechanical extract ventilation when the opportunity next arises.

The area is lit by a standard wall mounted fitting which is positioned adjacent to the bath/shower area and above the wash hand basin. We recommend its replacement with an IP44 rated fitted shortly following purchase.



Rear Bedroom



The ceiling is formed in plaster finishes including to underdrawn surfaces. We found no evidence of significant cracking or structural deformation.

The walls have received both direct plaster and board and skim finishes and these generally appear in a satisfactory condition with no evidence of significant cracking or wear and tear.

The suspended timber floor is overlaid with fully fitted carpet finishes. The floor appears reasonably level and true and generally firm underfoot with no evidence of significant deflection, distortion, undulation or damage. There is some creaking to the floorboarding underfoot. This is not considered excessive in a property of this age and construction and there are no works arising from our reporting in this respect.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architraves, door frames, doors, built in wardrobing, cill and exposed structural timberwork generally appear in a satisfactory condition. There are indications of historic insect activity to the exposed reused timberwork to the rear. There are no indications of recent or ongoing insect activity or significant structural compromise.

En Suite



The ceiling is formed in plaster finishes including to underdrawn sections. We found no evidence of significant cracking or structural deformation.

The walls have received direct plaster and board and skim finishes and these generally appear in a satisfactory condition with no evidence of significant cracking or wear and tear.

Minor cracking was indicated above the door position. This is not considered of significant structural consequence and as a cosmetic repair should be made good at next redecoration.



The walls are supplemented with ceramic tiling behind the wash hand basin and to the shower cubicle. These generally appear in a satisfactory order with no obvious evidence of significant leakage or other compromise.

The sealant finishes within the shower base would benefit from refinishing. This is considered a maintenance item and should be programmed. No apportionment is included in this respect.

The suspended timber floor is overlaid with linoleum type finishes with a laminate board effect. The floor was reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage.

There are two radiators to the area. The radiator to the left was not in operation at the time of our inspection and we must limit our reporting in this respect. The radiator to the right was confirmed in operation at the time of our inspection.

The internal joinery including gloss and varnish finished skirtings, architrave, door frame, door and built in cupboarding/service housing generally appear in a satisfactory condition.

The sanitary fittings appear relatively modern and generally in a satisfactory condition with no obvious evidence of significant compromise. The fittings comprise shower within cubicle, wall hung wash hand basin and concealed cistern WC.

The area is lit by inset ceiling lighting. We recommend replacement of the fitting nearest to the shower with an IP44 rated fitting shortly following purchase.

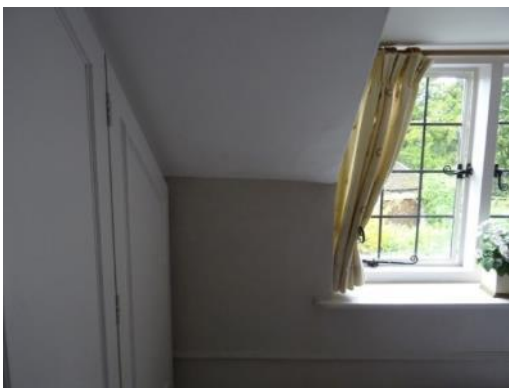


Mechanical extract ventilation is provided to the area. This was confirmed in operation at the time of our inspection.

Middle Right Bedroom



The ceiling is formed in plaster finishes including to underdrawn sections. We found no evidence of significant cracking or structural deformation. There are historic deformations to the wall plate level in line with expectations for a property of this age and construction. There were no indications of recent or ongoing movement or significant structural compromise. This is considered satisfactory.



The walls have received direct plaster and board and skim finishes and generally appear in a satisfactory condition with no evidence of significant cracking or wear and tear. Hairline

cracking was indicated. This is not considered significant structurally and as a cosmetic repair should be made good at next redecoration.

The suspended timber floor is overlaid with fully fitted carpet finishes. The floor feels reasonably level and true and generally firm underfoot with no evidence of significant distortion, deflection, undulation or damage.

The radiator to the area was not in operation at the time of our inspection and we must limit our reporting in this respect.

The internal joinery including gloss and varnish finished skirtings, architrave, door frame, door, built in access hatches, cill and wardrobing generally appear in a satisfactory condition.

There are two access hatches. The first to the right below eaves was not accessible being positioned behind the bed at the time of survey. We must limit our reporting in this respect.

To the front walling there is an access hatch onto the earlier roof construction. No meaningful inspection could be completed due to the owner's stored possessions and we must limit our reporting in this respect. We recommend the area is reinspected when the possessions are removed together with the completion of any additional remedial repairs identified at that time. No apportionment is included in this respect.

Roof Voids

Roof void No 1 is accessed via a wall hatch at high level to the front left bedroom ceiling at first floor level. The wall hatch is in satisfactory condition.

Our inspection to the roof void was limited to the area above the front landing area with no void created beyond. Our reporting must be limited in this respect.

The roof structure is in two phases with a more modern construction above the historic roof construction. Both structures generally appear in a satisfactory order to those areas visible to our inspection at the time of survey.

The roof membrane is a built up reinforced felt type membrane and this generally appears in a satisfactory condition though with localised damage indicated. We have included a provisional apportionment in this respect.

The roof void is boarded out locally for the storage of possessions. We do not recommend the storage of heavy loads as this can cause damage to the ceilings below though we found no significant such issue at the time of survey.

There are indications of historic insect activity. There are no indications of recent or ongoing insect activity or significant structural compromise.

There is a upward projecting stone wall supporting the roof structure within the roof void. This generally appears in satisfactory order.

Roof void No 2 is accessed above the front right bedroom ceiling via a hatch in the flat ceiling section. The void is that between the original roof profile which is overboarded and a new roof profile described above. Our inspection was again limited with no access into the roof void available.

There were no obvious indications of significant structural compromise though our reporting is limited in the absence of ready access. We recommend the stored rolls of insulation are removed to allow visual access around the roof void and the completion of any necessary remedial repairs identified at that time. No apportionment is included in this respect.

There are indications of insect activity around the roof void. Partially masked behind the insulation rolls there are localised indications of recent insect activity. We have included provisional apportionment for timber treatment to the roof void.

8. Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Electricity

Safety warning: The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice contact the Electrical Safety Council.

The service cupboard houses the incoming electrical main and distribution boarding. These generally appear in satisfactory order. The distribution boarding is provided with independently fused switched circuits.

Gas/oil

Safety warning: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' and in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

It has not been possible to confirm that the gas installation has been inspected in the recent past, although the pipework and meter appears to be recently installed. Although visually there is no evidence of damage to visible pipework, it is important to establish that the installation does not pose a safety risk. An inspection should be carried out now. Gas appliances should also be regularly inspected by a Gas Safe registered engineer as a precautionary measure.

Water

The water pressure was noted to be adequate for the property.

Heating

The oil-fired boiler serving the property is located to the area. This generally appears in serviceable order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

We are not aware of any service arrangements for the boiler and recommend this is inspected/serviced by a suitably qualified OFTEC registered engineer shortly following purchase if servicing has not been carried out in the last 12 months.

Water heating

There is a hot water cylinder cupboard to the left. This is similarly constructed and generally in a satisfactory condition. The hot water cylinder is a copper installation with bagged insulation sleeve and thermostat control. This generally appears in satisfactory order.

Thermal Insulation and Energy Efficiency

As part of the marketing process current regulations require the provision of an Energy Performance Certificate. Legal enquiries are advised to confirm that such a Certificate has been obtained. This document provides the usual information regarding advice on energy efficiency and thermal improvement, which will assist in potentially reducing heating expenditure.

From 1 April 2018, under the Minimum Energy Efficiency Standards (MEES) 2015, it became illegal to lease a property with an F or G rating on an Energy Performance Certificate. In the residential market the regulations extend to all properties with a valid EPC on 1 April 2020. This report does not provide extended advice on Minimum Energy Efficiency Standards (MEES) Regulations (2015) and is not designed to be used as evidence for the PRS Exemption Register. The responsibility for complying with MEES is allocated to the landlord and/or owner of the property.

Drainage

The drains run to a modern septic tank via a modern polycarbonate pipe system which was clear of blockages at the time of our inspection.



New septic tank rules came into force on 1 January 2015. If your septic tank system was installed and in use before 31 December 2014, it is classed as an 'existing discharge'. If it was installed and in use after that date, it is classed as a 'new discharge'.

Rules for both existing and new septic tank discharges in England are as follows.

- Septic tanks settle the solids in the sewage and then discharge the liquid septic effluent to ground via a correctly designed and constructed drainage field - NOT a soakaway pit, soakaway crates, tunnels or Ezy Drain. These are not allowed for sewage effluent dispersal.
- They cannot discharge into ditches, streams, canals, rivers, surface water drains or any other type of watercourse. Under the new Environment Agency General Binding Rules, If you have a septic tank that discharges directly to a surface water (ditch, stream, river etc.) you must replace or upgrade your septic tank treatment system to a full sewage treatment plant by 1 January 2020, or when you sell your property, if it is before this date.
- ALL septic tanks that currently ultimately discharge into watercourses will have to be either:
 - Replaced, using a sewage treatment plant with full BS EN 12566-3 Certification instead, or
 - The discharge to the watercourse stopped and diverted to a drainfield, designed and constructed to the current British Standard BS6297 2007

Common services

No common services are present.

9. Grounds (external areas)

Front External Areas

There are planted borders against the property. These generally appear in satisfactory order.

Beyond there are gravel finishes and selective planting. These generally appear in satisfactory order.

To the left there is a stone wall between this and the adjoining property. There is some outward lean to the wall from the adjoining property and the wall levels within the adjoining garden are indicated raised.



The extent of wall lean could not be fully identified at the time of survey given the extent of vegetation growth against the walling from the garden planting.



We must limit our reporting in this respect.

We recommend the walling is reinspected when the vegetation is next cut back or removed together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

Our reporting includes an apportionment for additional stabilisation/buttreassing to the walling based on the area visible to our survey at the time of inspection.

To the left and front the boundary walling continues in low stone walling reverting to fencing and hedging across the front of the property. These generally appear in a serviceable order.

There are maturing tree growths including coniferous growths to this and the adjoining property. We recommend these are managed and maintained to reduce future foundation movement risks. Where the vegetation is positioned within the adjoining property this should be via undertakings sought through your Solicitor from the adjoining owners that the vegetation will be managed and maintained to reduce future foundation movement risks.



There are further trees within the adjoining ownership to the front. Again we recommend the seeking of undertakings via your Solicitor that these will be managed and maintained to reduce future foundation movement risks.



There were no indications of significant structural movement associated with the tree and hedge plantings at the time of survey.

There is a pathway leading off the front garden with signage along indicating a Public Footpath. We recommend obtaining confirmation via your Solicitor of ownership, access arrangements, entitlements, obligations and any maintenance/repair liabilities. Your

Solicitor should also confirm any public Rights of Way across any land within the property ownership.

Beyond the footpath there is a retaining wall providing support to the property over that below to the front.



We recommend obtaining confirmation via your Solicitor of any rights of support to and from the property in this respect.

Rear External Areas

To the right and rear of the garage the public right of way is indicated continuing and this extends across the rear of the garaging. In line with our advices above we recommend obtaining via your Solicitor of access entitlements, obligations and any other liabilities.

The area alongside contains various logs and timber materials together with some building materials. We recommend these are kept clear if the land is shown within the ownership of the property or removed if this is shown out with the property. Your Solicitor should confirm the precise boundary positions around the property together with ownership, access arrangements, entitlements, obligations and any maintenance repair liabilities.



Similarly in addition to the rights of support enquiry is recommended to your Solicitor we also recommend obtaining confirmation of any liabilities to demarcate or limit the change in levels and any responsibilities to provide guarding for same.



Beyond the indicative boundary fencing there are mature tree growths.



In line with our advices above we recommend a seeking of undertakings from adjoining owners that these will be managed and maintained to reduce future foundation movement risks.

There is a maturing growth immediately to the rear of the garage which is indicated with the property. This should be managed and maintained to reduce future foundation movement risks or preferably removed.



The rear indicative boundary is in timber fencing with a gate inset. These are significant decayed. In line with the recommendations above we recommend obtaining confirmation via your Solicitor of ownership and any maintenance repair liabilities.



No apportionment has been included at this stage pending clarification of liabilities.

Beyond the garden and alongside the pathway to the rear there is an overhead electric cabling installation and transformer. This is mentioned for reference purposes.



10. Matters for legal advisers' attention

Building regulations

The building will not satisfy a variety of contemporary standards of construction and performance criteria set out in the current Building Regulations such as, for example, thermal insulation. This statement is true of the vast majority of buildings in the UK.

The statute under which the Building Regulations are made in the UK is the Building Act 1984. Neither this Act, nor the Regulations themselves are applicable retrospectively. This avoids the need for constant improvement of properties to satisfy current standards.

Planning permission

We have not been requested to investigate and set out in detail the planning history of this property. We have not been provided with any Planning documents on which to comment. Consequently, from our inspection, we cannot comment on the existence or otherwise of any infringements of any Planning Consents or conditions attached to such Consents.

We assume that this matter will be considered by solicitors.

Heritage Consents

Due to the age of the property, it may be protected by heritage legislation, necessitating the requirement to obtain statutory consents for either planned or previously completed works. We recommend obtaining confirmation from your Solicitor that any necessary heritage consents have been obtained for previously completed works, and that all works have been completed in accordance with any conditions contained within those heritage consents.

If the property is found to be protected, then listed building consent will be required for 'any works for the demolition of the building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest'. In addition, Listed Building Consent may be required for works to ancillary buildings, objects or structures within the curtilage of a listed building, which affect the special character of the listed building (commonly referred to as curtilage listing).

If the property is found to be in a conservation area, then planning consent will likely required for the demolition of any buildings even if unlisted building, but are within a designated Conservation Area. This consent is now addressed under Planning Consent controls.

Statutory

- Confirm all Statutory Approvals for all alteration and construction work. Obtain copies of all Approved Plans for any alterations or extensions to the property.
- Any rights or responsibilities for the maintenance and upkeep of jointly used services including drainage, gutters, down pipes and chimneys should be established.
- The right for you to enter adjacent property to maintain any structure situated on or near the boundary and any similar rights your neighbour may have to enter on to your property.
- Any responsibilities to maintain access roads and driveways, which may not be adopted by the Local Authority, should be established.
- Obtain any certificates or guarantees, accompanying reports and plans for damp-proof course and timber treatment, which may have been carried out in the property.
- Investigate if any fire, public health or other requirements or regulations are satisfied and that up to date certificates are available.
- Investigate any proposed use of adjoining land and clarify the likelihood of any future type of development, which could adversely affect this property.
- Where there are trees in the adjacent gardens, which are growing sufficiently close to the property to cause possible damage, we would suggest that the owners are notified of the situation.
- Whilst there were clearly defined physical boundaries to the site, these may not necessarily lie on the legal boundaries. These matters should be checked through your Solicitors.
- You should obtain all guarantees relevant to the property, including matters such as replacement glazing, damp-proof course, etc. The guarantees should be formally assigned to you and preferably indemnified against eventualities such as contractors going out of business.
- The tenure is assumed to be Freehold, or Long Leasehold subject to nil or nominal Chief or Ground Rent. Your legal adviser should confirm all details.
- Confirmation should be obtained that all mains services are indeed connected.
- Confirmation should be obtained by the provision of service documentation, of when the electric and gas installations were last tested.

Rights of Way, Easements, Shared Services, etc.

Your legal adviser should check:

- boundary positions and the responsibilities

Guarantees/Warranties

Where work has been carried out to the property previously, it is recommended that guarantees be obtained prior to a legal commitment to purchase. These should ideally be indemnified against eventualities such as the contractors going out of business, and should cover workmanship as well as materials. Confirmation should be obtained as to the residue of the guarantee and that a transfer will occur upon change in ownership.

Legal enquiries should be made to confirm if any testing of the electrical, gas and heating appliances have been undertaken, with any testing of service records being obtained prior to a legal commitment to purchase.

Thermal Insulation and Energy Efficiency

As part of the marketing process current regulations require the provision of an Energy Performance Certificate. Legal enquiries are advised to confirm that such a Certificate has been obtained. This document provides the usual information regarding advice on energy efficiency and thermal improvement, which will assist in potentially reducing heating expenditure.

From 1 April 2018, under the Minimum Energy Efficiency Standards (MEES) 2015, it became illegal to lease a property with an F or G rating on an Energy Performance Certificate. In the residential market the regulations extend to all properties with a valid EPC on 1 April 2020. This report does not provide extended advice on Minimum Energy Efficiency Standards (MEES) Regulations (2015) and is not designed to be used as evidence for the PRS Exemption Register. The responsibility for complying with MEES is allocated to the landlord and/or owner of the property.


11. Environmental hazards

We indicate below our findings and advice regarding certain issues of an environmental nature. The issues identified below should not be considered an exhaustive list of matters to be considered.

Flooding risk

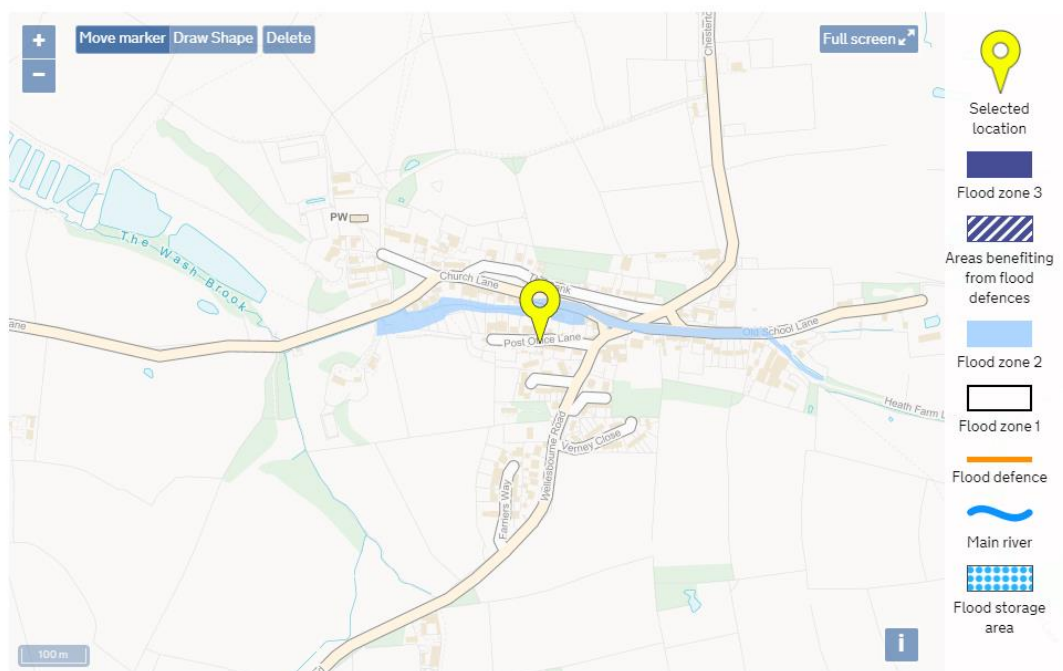
We have not undertaken detailed investigations into the potential for flooding of the land on which the property lies. However, we have consulted the website at www.environment-agency.gov.uk of the Environment Agency and their information regarding the potential for flooding suggests that the area is not at risk from flooding.

Likelihood of flooding in this area

You can move the marker  on the map to identify a specific location. Alternatively draw a shape to identify an approximate site boundary.

► [How to draw a shape](#)

[Download printable map \(PDF\)](#)



Tree proximity

The proximity of trees to buildings can give rise to concern because structural damage can be caused by root systems growing around, under and sometimes through foundations and subterranean walls. The risk of damage caused by tree roots depends on:

- the proximity of the tree to the building concerned
- the height, age and species of tree
- the design and depth of a building's foundations

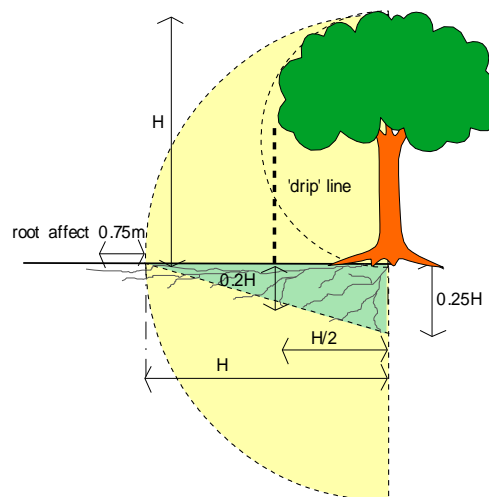
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- the type of sub-soil

There are trees in close proximity to the building. The growth of these trees should be monitored and, if necessary, controlled in due course.

Of particular concern in the apple tree close to the right hand gable which we have advised be reduced in the immediate term.

Apple trees, cultivated *Malus* varieties are common in gardens. Most are small to medium sized trees with lifespans of 40 - 60 years, but Bramleys seedling is far more vigorous, longer lived and larger growing than most of the others. They are moderate water demanders and tolerate pruning well if started when young. Traditional fruit tree pruning, consisting of regular light reduction and thinning can be effective in controlling water demand and root spread where there is a risk of damage in buildings, but long neglected trees often respond poorly.



Typical proportions of an Apple tree. Note the potential root zone.

The trees grow at a rate of 250mm a year to reach heights of around 7 - 10mtrs¹. They have medium root activity and water demand, and can be associated with subsidence when planted close to the building, or in groups.

Radon risk

Radon is a radioactive gas that occurs naturally in the ground. It occurs when uranium decays. Uranium is found in small quantities in all soil and rocks. Decaying uranium turns

¹ Richardson & Gale (1994) "Tree Recognition" Richardson's Botanical Identifications

into radium and when radium, in turn, decays, it becomes radon. Uranium can also be found in building materials derived from the rocks.

Radon rises through cracks and fissures in the ground into the air. Outdoors, radon is diluted and the risk it poses is negligible. Problems occur when it enters enclosed spaces, such as a building, where concentration levels can build up. When this happens, it can cause a significant health hazard to the occupants of a building by increasing the risk of lung cancer. Radon is everywhere, but usually in insignificant quantities. General technical information on Radon can be obtained from Public Health England. Their website address is <https://www.gov.uk/government/organisations/public-health-england>

Following the legal searches, if Radon, as an environmental hazard, is something that you are particularly sensitive to, further investigations and, if necessary, testing should be considered for an assessment of the site's exposure.

Electromagnetic fields and microwave exposure

There has been concern that electromagnetic fields from both natural and artificial sources can cause a wide range of illnesses such as blackouts, insomnia and headaches to depression, allergies and cancer. Artificial sources commonly comprise overhead or subterranean high voltage electrical power cables.

It is suggested that the electrical discharges from these high voltage cables upset the balance of minute electrical impulses employed by the human body to regulate itself in much the same way as television and radio signals can be disrupted.

Controversy and uncertainty prevail with regard to this matter; no strong evidence that is generally accepted to be conclusive has been developed to prove or disprove this alleged hazard. More information is available from the National Radiological Protection Board's website. You should be aware that the presence of power cabling in the vicinity of a building can affect its value and liquidity in addition to the health of those occupying the property.

For this reason, during our inspection we looked for any visual indications that electrical power cables are located under, on or over the property or adjacent to it. We have not undertaken any separate inquiries with the relevant statutory authority however.

We did not note any high voltage cabling in the vicinity of the property, but such cabling might exist below ground out of sight.

Invasive vegetation

We did not note the existence of any Knotweed or Hogweed around the property. However, we have not carried out a thorough inspection of the whole garden.

Japanese Knotweed was introduced into the UK in the 19th century. It grows vigorously and can cover large areas to the exclusion of most other plant species. It has been known to grow through bitumen macadam, house floors and sometimes through foundations.

Wood Boring Insects (Woodworm)

We have not undertaken a detailed investigation into the potential for Woodworm as this would cause for intrusive works to be carried out, however no active infestation was noted to any of the inspected timbers and all timber floors felt firm underfoot indicating that all floor timbers were free from wood boring insects.

Woodworm may manifest itself in a number of varieties ranging from 3mm in size to 25mm. Eggs are laid on or in the timber and the larvae that hatch feed and bore into the timber which consequently results in weakening of timbers and a risk to the structural integrity of the property. Treatment of active woodworm involves applying insecticides to the timbers. In extreme cases where the timbers structural integrity has been compromised by the attack, replacement may be the only solution.

Fungal Decay (Dry Rot & Wet Rot)

We have not undertaken a detailed investigation into the potential for Fungal Decay, however at the time of our inspection no decay was noted to any of the inspected timbers and all timber floors felt firm underfoot indicating that all floor timbers were free from fungal decay.

Moist and damp conditions provide an ideal environment for fungal attack. In cases where the moisture content is over 20% this is classified as 'dry rot'. Fine grey strands of fungus spread through wood and other materials developing into sporophores which give off spores which in turn spread the fungus further. Timber suffering from dry rot becomes very dry and brittle and begins to fracture to such an extent that it can be broken and crumble by hand. When the moisture content is higher than 40% to 50% this is classified as 'wet rot'. The presence of wet rot in timber is recognised by a dark brown staining colour and splitting or longitudinal cracking.

Treatment of fungal decay is initially to remove the source of the dampness which is enabling the fungus to 'feed' and develop. Exposure works will then be necessary to determine the full extent of the damage caused. Following any repairs or replacement works it will be necessary to treat the timbers with an approved fungicide to safeguard against recurrence.

Damp

Tests were conducted with an electronic moisture meter at appropriate positions throughout the property (except where impermeable surface finishes, furniture, fitted cupboards and stored goods prevented access to take readings).

The inner face of external walls was checked at random intervals with a moisture meter.

Testing at low level did identify areas of low-level dampness. In a property of this type and age this is not entirely unexpected. Where inspected we did not note any damage or

deterioration to decorative or plaster finishes. As a result, this may be something to be managed as opposed to resorting to costly damp proofing works.

Asbestos

Possible asbestos containing materials were noted in the following areas:

- Textured coatings
- Fibrous boarding
- Roof linings

We have not undertaken an asbestos survey at the property and it is important to note that any property up to the year 2000 may have within it asbestos containing materials (ACMs). We have tried to point out any obvious possible asbestos containing materials at a property, however, ACMs can be covered within ducting or hidden by decorative finishes.

Should asbestos be of a particular concern to you we would recommend that a survey is carried out by an appropriately qualified asbestos surveyor.

The HSE provides a very helpful website on asbestos, where it can be found and how to manage it <http://www.hse.gov.uk/asbestos/index.htm>.

Other hazards to be considered

- Lead pipework
 - Low level glazing
 - Excessive gaps to staircase or balustrade
-

12. Summary of findings and anticipated costs

It is important that the report should be considered in its entirety before proceeding. If there are any points in the report which require clarification or on which you require further advice, please do not hesitate to contact the writer. Whilst we do not attempt here to reiterate all of the points contained in the main body of the report, the following synopsis of the more significant matters and associated costs may be of some assistance:

The property is a detached historic property dating originally from 200 to 300 years ago with later extensions and alterations. The property has concrete tile finished roofing, load bearing walls with stone elevations and suspended timber first flooring with solid construction to the ground floor.

Our reporting has been completed on the basis of available access and is limited to the left elevation to the house and later extension. We recommended these areas are inspected when access is next available together with the completion of any necessary additional remedial repairs identified at that time.

Otherwise the general condition of the property is satisfactory with no major defects or major repairs noted.

The property appears to be free of ongoing significant structural movement. Historic significant movements have occurred. There are no indications of recent or ongoing structural movement or significant structural compromise. Historic movements were within limits anticipated for a property of this age and construction.

We are also mindful of the significant age of the property together with indications of significant surviving structural remnants historically. Such buildings can contain enclosed historic remnants and structures which may not be built-in or tied into the main structure. Our reporting is limited in this respect and is based on a non-intrusive visual inspection. The incorporation of any remains is common and usually does not present any significant structural issue, often only being discovered when the circumstances of a building change and these are revealed. No apportionment is included in this respect or for any consequential issue arising from such construction.

Minor cracking was indicated arising from normal seasonal movement of the historic construction. Such cracking may continue on a seasonal basis in line with expectations for a property of this age and construction which are designed by their use of flexible construction to accommodate some seasonal movement. Modern rigid and brittle materials do not accommodate this movement to such a degree in which case minor normal seasonal movements might continue.

There were some issues arising from our inspection and we recommend you address the following matters shortly following purchase:

1. Creation of sealed joints to external masonry, Estimated Cost £400.
2. Roofing repairs, Estimated Cost £50.
3. Rainwater goods repairs, Estimated Cost £300.
4. Paving/step repairs, Estimated Cost £200.
5. Well head repairs, Estimated Cost £400.
6. Replacement of electrical fittings with IP44/67 rated fittings, Estimated Cost £600.
7. Roof membrane repairs, Estimated Cost £100.
8. Roof void timber treatment, Estimated Cost £1,200.

There are other issues which although not urgent require attention. We recommend these are addressed within the first year of purchase:

1. Garage repairs, Estimated Cost £1,600.
2. Internal masonry inglenook fireplace repairs, Estimated Cost £1,800.
3. Internal masonry repairs, Estimated Cost £150.
4. Glazing repairs, Estimated Cost £350.
5. Masonry reinforcement and repair, Estimated Cost £2,050.
6. External timberwork repairs, Estimated Cost £200.
7. Garden wall repairs, Estimated Cost £1,500.

There are trailing plants across the elevations. These do not appear to be adversely affecting the property and its structure or foundations at the present time although clearly have the potential to affect foundations and the capacity of the building to absorb and desorb moisture levels naturally. We recommend the vegetation is managed or removed to avoid compromise to the building.

Your Legal Advisor should check whether Local Authority notifications and approvals were obtained for the rear and upward extensions to the property, the conservatory, porch and garage constructions if needed and that all Statutory inspections were made at the time of

construction works. If regulations have been breached and work carried out without the necessary approvals and inspections then extensive and costly alteration works may well be needed to ensure compliance.

Your Legal Advisor should check for the existence, validity and transferability of Guarantees and Certificates for the double-glazing installations, the electrical system and the oil installation and appliances which should be assigned to you as the new owner of the property.

Your Legal Advisor should also establish in the pre-contract enquiries the existence and validity of any service agreements and engineer certificates for the central heating system and Aga to the property. The date of the original installation, the name of the service company and when testing/servicing was last carried out should also be determined.

Your Solicitor should also confirm the extent of any public right of way through the property together with ownership of lands across which the right of way passes and support arrangements enjoyed both by the property and from the property to adjoining lands.

Your Solicitor should confirm any serving rights of abstraction relating to the well head serving the property.

As far as we are aware the property is not detrimentally affected by any current Planning or other environmental matter, however no enquiries have been made and your Legal Advisor should carry out all Local Searches prior to exchange of contracts and advise you fully in this respect.

Note: at this time we can offer little more than preliminary estimated costs for the works indicated above. However, based upon our experience of similar schemes we consider the estimated costs to be reasonable. These costs do not include any allowances for possible items of external/internal decoration. We must strongly advise against basing a firm financial judgement entirely upon the estimated costs stated. They are intended purely as a guide and must be treated with caution until detailed tender documents have been prepared and competitive quotations have been obtained. We recommend that quotations for the works are invited from reputable contractors. They should carry all necessary Liability Insurance and be affiliated to a recognised trade association and be prepared to provide an underwritten warranty relating to the quality of their workmanship. Agreement regarding the

provision of such warranties should be obtained before entering into a Contract for the works.

13. Conclusion

The property appears to be in a satisfactory condition subject to normal weathering, wear and tear consistent with the age and location of the property with no evidence of significant ongoing structural issues noted. Historic movement has occurred in line with expectations for a property of this age and construction. There are no indications of any ongoing or recent significant movement or significant structural compromise.

Various items and repairs requiring attention have been highlighted and referred to throughout this report.

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15. Surveyor's declaration

"I confirm that I have inspected the property and prepared this report, and the Market Value given in the report"

Signature

Surveyor's name

Timothy Allcott

Surveyor's RICS number

1231965

Surveyor's qualifications

MRICS

For and on behalf of

Allcott Associates LLP

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16. What to do now

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified.

You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do
- get the contractors to put the quotations in writing.

Some repairs will need contractors with specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). Some work may also need you to get Building Regulations permission or planning permission from your local authority.

Further investigations

If the surveyor is concerned about the condition of a hidden part of the building, could only see part of a defect or does not have the specialist knowledge to assess part of the property fully, the surveyor may have recommended that further investigations should be carried out to discover the true extent of the problem.

Who you should use for these further investigations

You should ask an appropriately qualified person, though it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

What the further investigations will involve

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed and so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

In order to access the Terms of Engagement and Description of Service please copy and paste this link on your browser

<https://www.allcottassociates.co.uk/buildingsurveyterms/>

17. Maintenance tips

Outside the property

You should check the condition of your property at least once a year and after unusual storms. Your routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

Chimney stacks: Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aerials or other fixings, including the materials used to form the joints with the roof coverings.

Roof coverings: Check these occasionally for slipped, broken and missing tiles or slates, particularly after storms.

Flat roofing has a limited life, and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.

Rainwater pipes and gutters: Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.

Main walls: Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove any plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proofing (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.

Windows and doors: Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and sills and window boards for any damage.

Conservatories and porches: Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it's raining. Arrange for repairs by a qualified specialist.

Other joinery and finishes: Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

Inside the property

You can check the inside of your property regularly when cleaning, decorating and replacing carpets or floor coverings. You should also check the roof area occasionally.

Roof structure: When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.

Ceilings: If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.

Walls and partitions: Check these when you are cleaning or redecorating. Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.

Floors: Be alert for signs of unevenness when you are cleaning or moving furniture, particularly with timber floors.

Fireplaces, chimney breasts and flues: You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated. Flues to gas appliances should be checked annually by a qualified gas technician.

Built-in fittings, woodwork and joinery: Check for broken fittings.

Services

Ensure all meters and control valves are easy to access and not hidden or covered over. Arrange for an appropriately qualified Gas Safe Engineer or Registered Heating Engineer to check and test all gas and oil services, boilers, heating systems and connected devices once a year.

Electrical installations should only be replaced or modified by a suitably qualified electrician and that a periodic inspection and testing is carried out at the following times: for tenanted properties every 5 years or at each change of occupancy, whichever is sooner; at least every 10 years for an owner-occupied home.

Monitor plumbing regularly during use and when you are cleaning. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.

Lift drain covers annually to check for blockages and clean these as necessary or seek advice from a Certified Drainage Contractor. Check any private drainage systems annually, and arrange for a qualified contractor to clear these as necessary. Keep gullies free from debris.

Grounds

Garages and outbuildings: Follow the maintenance advice given for the main building.

Japanese knotweed or other non-native species: seek advice from an 'appropriately qualified person or company' such as an accredited member of an industry recognised trade association.

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