

# BUILDING SURVEY

## Level 3

**ALLCOTT**  
RESIDENTIAL



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## 1. Introduction

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This Level 3 Building Survey is produced by an RICS surveyor who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

The Building Survey aims to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading of the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- where practicable and agreed, provide an estimate of costs for identified repairs
- make recommendations as to any further actions or advice which need to be obtained before committing to purchase.

No below ground investigations have been carried out and no drainage survey has been undertaken.

This service is delivered in accordance with the Home Survey Standard (1st edition) RICS Professional Statement and is equivalent to Level 3.

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## 2. About the inspection

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Report prepared by	Nicholas Kelly/Timothy Allcott		
Report checked by	Judy Summers		
Company name	Allcott Associates LLP		
Client name			
Date of the instruction		Date of the inspection	
Report reference number			
Full address and postcode of the property			
Brief	We have been requested by the above client to carry out a Level 3 Building Survey of the above property.		
Weather conditions when the inspection took place	Dry and bright with clear skies on the first two survey days. Periodic rainfall was encountered on the third day.		
The status of the property when the inspection took place	Occupied, furnished and attended.		

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### 3. Understanding your report

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#### Site inspection

Where the terms “right hand” or “left hand” are used, they assume that the reader is facing the front of the property with the main access door situated within the front elevation.

#### Terminology

Where the expressions immediate, short term, medium term, long term and very long term are used they generally mean the following:

Priority rating	Timescale
Immediate	Within 1 year
Short Term	Within the next 1 to 3 years
Medium Term	Within the next 4 to 10 years
Long Term	Within 11 to 20 years
Very Long term	Over 20 years

Where relating to structural damage and crack widths the expressions negligible, very slight, slight, moderate, severe and very severe are used they generally mean the following:

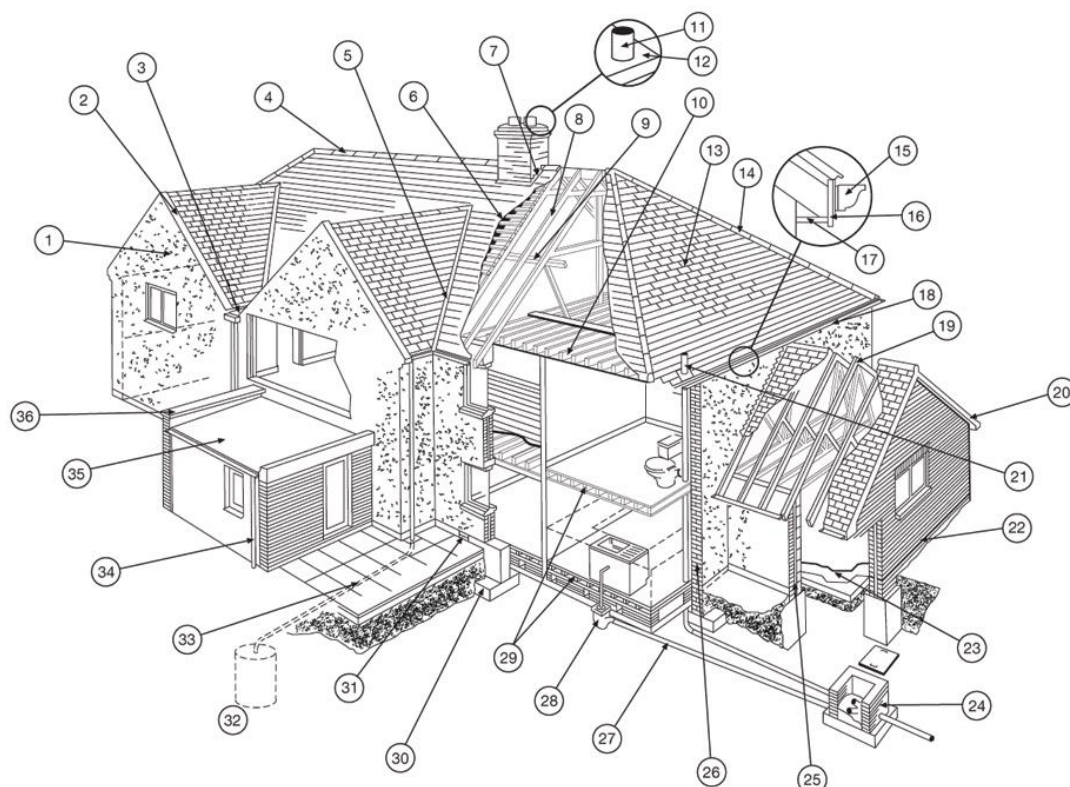
Category 0	"negligible"	< 0.1mm
Category 1	"very slight"	0.1 - 2mm
Category 2	"slight"	>2 but < 5mm
Category 3	"moderate"	>5 but < 15mm
Category 4	"severe"	>15 but < 25mm
Category 5	"very severe"	>25 mm

Table 1

Classification of damage to buildings based on crack widths.

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## 4. Typical house diagram



### KEY

1 Gable end wall	13 Hip roof	25 Cavity wall
2 Verge	14 Hip tiles	26 Solid Wall
3 Valley gutters	15 Gutter	27 Foul drain
4 Ridge tiles	16 Fascia	28 Gulley
5 Valley	17 Soffit	29 Floor joists
6 Roofing felt	18 Eaves	30 Foundation
7 Flashing	19 Roof trusses	31 Airbrick
8 Rafter	20 Barge board	32 Soakaway
9 Purlin	21 Soil-and-vent pipe	33 Surface water drain
10 Ceiling joists	22 Damp-proof course (DPC)	34 Downpipe
11 Pot	23 Damp-proof membrane (DPM)	35 Flat roof
12 Cement	24 Inspection chamber	36 Parapet

## 5. General description of the property

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The property is a Grade I large three storey detached property with a high level tower to the rear built we are advised around the 18<sup>th</sup> Century though possibly containing earlier building remains.

The external walls are of traditional load bearing construction with brick, stone and rendered elevations. Solid wall construction is indicated in a property of this age and construction.

The tower is brick built with a belvedere atop.

The roofing is pitched and finished with slate tile finishes.

Internally the floors are of suspended timber construction to upper floors and a combination of solid and suspended timber construction to ground floor level.

There is no garaging with the property. Off street car parking is available.

There is a separate equestrian facility within the ownership.

The property has formal gardens within a wider garden and parkland landscape. These are private and enclosed.

## Energy

### *Mains Services*

The marked boxes show that the mains services are present.

☒ Gas      ☒ Electricity      ☒ Water      ☒ Drainage

### *Other services or energy sources*

☐ Solid fuel      ☐ Oil      ☒ None

## Security system

☒ Yes      ☐ No

The property is fitted with a burglar alarm. We would advise that you confirm that an automatic cut out device is in place. Your legal advisers should check for any service records.

## Fire Detection

Fire/smoke alarms are fitted in the property, however were not smoke tested. We recommend testing and replacing batteries at the suggested intervals by the manufacturers.

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## 6. External condition of the property

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In this section of our report, we summarise the defects noted and principal concerns regarding the external condition of the property.

### Roof Survey

Our Inspection of the roofing was completed from the Belvedere viewing platform, from internal windows where overlooking the roofing, and using a camera pole to lower roofing areas. No elevated platform/high level roofing survey was instructed and no fall arrest system available to enable safe high level access for inspection. Our reporting must be limited in this respect. We recommend the roofing is inspected at close quarters when safe access can next be obtained together with the completion of any additional remedial repairs identified at that time. No apportionment has been included in this respect. Our reporting continues to those areas visible to our inspection at the time of survey.

### Tower Roofing

The tower platform capping is formed with dressed lead sheet and this is indicated of some significant age by the graffiti inscriptions.





There are several repairs already carried out and notably there are several splits to the leadwork indicating this is approaching the end of its serviceable life. Whilst acknowledging that the graffiti provides a significant contribution to the social history of the property suitable weather protection must be provided by the leadwork and we recommend that the leadwork capping is planned for replacement within the next 5-10 years as a long term maintenance repair. At that time we recommend the leadwork is inspected and sections retaining where notable graffiti is found. As a longer term maintenance repair no apportionment is included within this reporting for works.

Temporary repairs should be carried out pending replacement of the lead roofing. We have included a provisional apportionment for temporary repairs.

The roof access door to the tower requires attention. We have included a provisional apportionment in this respect.

The tower crenellations include chimney flues. There is some vegetation growth and this should be carefully removed and the chimney provided with a ventilated capping if no longer in use. As a maintenance issue no apportionment is included in this respect.





### High Level House Roofing



The main roof areas are pitched, including some hipped roofing. Roof surfaces are finished with dressed slate finishes, with dressed lead roll/hip mouldings, valleys, flashings and parapet gutter details. Where visible to our inspection these generally appeared in a satisfactory order with no significant areas of missing, damaged, or displaced slatework and with lead materials showing no obvious of significant issue.

Localised slatework issues were indicated and repair is recommended.



Typical detail shown.

There are further flat roof sections finished with proprietary roofing membranes and stepped lead roofing with roll moulded joints. Where visible to our inspection these generally appeared in a satisfactory order with no obvious of significant issue.

We highlight that lead materials are subject to ageing and in particular to splits/tears, creep and pitting. We reiterate our advice above for close quarters inspection when high level access is next available together with the completion of any necessary additional remedial repairs identified at that time.

Historic roof deformations were noted from our high level tower vantage. These are common in buildings of this age and type. In the absence of any significant recent movement or significant structural compromise these are considered satisfactory.



Typical detail shown

No fall restraint system was indicated to the high level roofing or to the tower. Pedestrian access is required to maintain parapet and valley gutters, and to maintain flues clear of obstructions, and this presents significant safety risks to those accessing high level areas. Though not a requirement of this reporting, we recommend the installation of a roof level fall restraint system to manage safe access.

### Lower Roofing

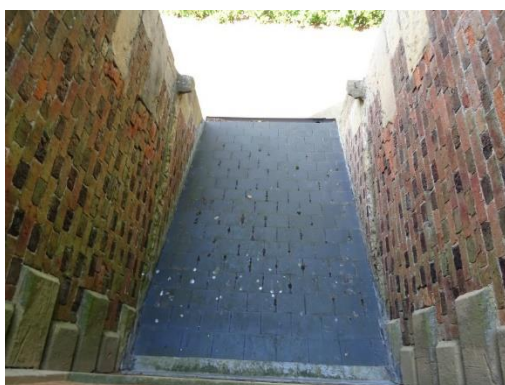
To the porte-cochere and orangery the roofing has glazed atria roofing inset within proprietary roofing membranes and dressed lead valley gutter details. Where visible to our inspection from a pole camera inspection these generally appeared in a satisfactory order with no obvious or significant issue.



To other levels where visible from internal windows the roofing is pitched, including some hipped roofing. Roof surfaces are finished with dressed slate finishes, with dressed lead



roll/hip mouldings, valleys, flashings and parapet gutter details. Where visible to our inspection these generally appeared in a satisfactory order with no significant areas of missing, damaged, or displaced slatework and with lead materials showing no obvious of significant issue.



To the rear central lower roofing there is a further glazed atria. This generally appeared in serviceable order.



No inspection of the roofing to the rear left adjacent to the tower was possible. Our reporting is limited in this respect. We reiterate our advices above for inspection when high level access is next available together with the completion of any necessary additional remedial repairs identified at that time.



**Front Elevation**



### **Chimneys**

To the left of the right projecting gable there is a row of four chimneystacks each with flue terminals atop. These generally appear in a satisfactory structural order.



There is a single stack to the centre right.



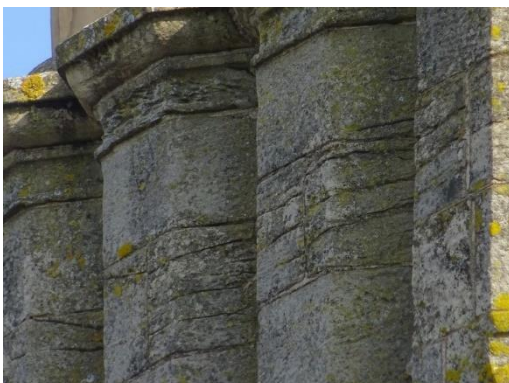
This similarly appears in satisfactory order.

To the centre left there is a further row of chimney flues positioned to the right of the left range projecting gable. These generally appear in satisfactory order. Further left there are a further row of chimney flues against the left elevation.



These generally appear in a satisfactory order.

The stacks are all of similar or like type and generally appear in satisfactory order with no obvious or significant issues indicated. There are stone bedding plane lines to the chimney faces which appear across the flues.



These are indicative of the natural stone formation and in the absence of any significant issue or compromise are considered satisfactory.



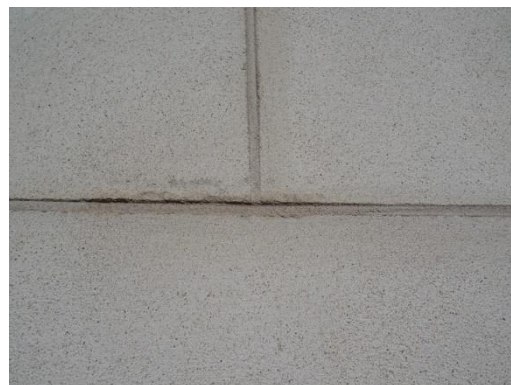
There are flue terminals atop each chimney. These generally appear in satisfactory order though could not be inspected at close quarters from our ground level vantage, from a pole camera or from the tower vantage and our reporting must be limited in this respect. We recommend these are inspected when high level access is next available together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

There are roof edge projecting gables in stonework with stone hood mouldings. There were no indications of significant cracking, structural deformation, delamination, splits or displacement. There are lightning conductor terminals to the head of each gablet. These generally appear in satisfactory order. There is some detachment of the lightning conductor tape to the front right and we have included provisional apportionment in this respect for high level attendance, inspection and repair.



We are not aware of any inspection or testing arrangements for the lightning conductor system or any recent results and we must limit our reporting in this respect. We recommend enquiries via your Solicitor or the current owner to confirm any recent test results together with confirmation that any required works arising have been completed or any additional insurers requirements arising have been completed. Alternatively if this is not available inspection and testing of the lightning conductor system should be completed by a suitably qualified engineer shortly following purchase.

The elevation is in load bearing construction indicated in solid wall construction and of some age. The elevation is finished in a ruled Ashlar effect into render finishes.



We were unable to confirm the render type from a non-intrusive visual inspection and must limit our reporting in this respect. We highlight that cementitious renders can limit the natural absorption and desorption of moisture through the walling and this can lead to moisture transfer internally. The render finishes are indicated a relatively modern work and we recommend enquiries via your Solicitors or the current owners to confirm whether cementitious or lime based materials have been used. If this cannot be confirmed via enquiries then we recommend specialist inspection by a suitably qualified building conservation contractor to establish the type of mortar and its strength. Whilst there were no indications internally of any obvious or significant moisture penetration the type of mortar and potential damage this may cause together with any interim work requirements can prove expensive and we recommend the issue is resolved prior to any commitment to purchase to best protect your future financial interests.

There were no indications of significant cracking or structural deformation to the main load bearing walls.

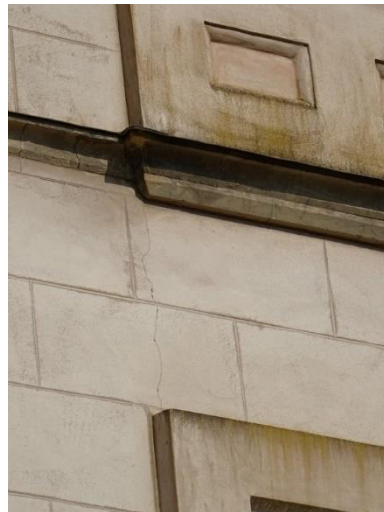
Minor cracking was noted to various areas.















The cracking is typical of a property of this age and construction and raised no significant structural concerns. We are mindful that cementitious mortars/renders are rigid and brittle by contrast with lime based mortars and have a propensity to crack disproportionately under normal seasonal movement conditions. We reiterate our advice for obtaining confirmation as to whether cementitious mortars have been utilised. We however considered there to be no significant structural compromise arising.

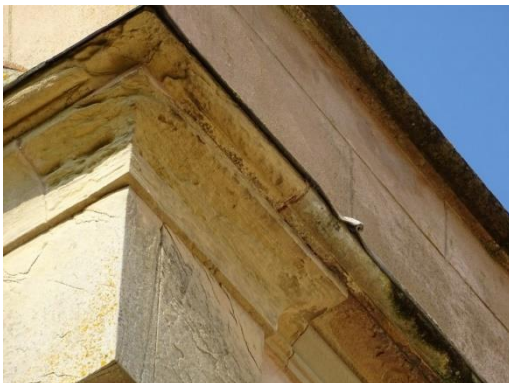
Our survey to the interior found no obvious or significant cracking through the papered and panelled finishes to suggest any significant wall movement or ground movement occurring.

There are minor wall deformations historically.



These are again common in a construction of this age and type and in the absence of any evidence of recent or ongoing movement or significant structural compromise are considered satisfactory.

The stonework architectural detailing generally appears in a satisfactory order. There is some evidence of delamination and shaling.





There are no indications of significant or widespread threat of falling materials at the time of survey though localised minor delaminations were indicated and should be addressed as maintenance repairs as required.

There is a localised area with delaminated stonework to the left of the central range at high level to the underside of the stone band detail.



We have included provisional apportionment for high level access and careful removal at this stage to limit the risk of materials falling onto those below.

Otherwise future such risks should be planned as maintenance repairs.

There is significant erosion of the historic stonework banding.

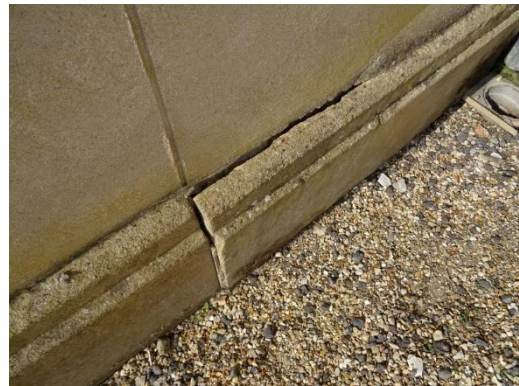




This is considered to represent the patina of the building and is not seen as any significant structural defect or other defect. No apportionment is included in this respect. If required this can be repaired by the running in of plastic lime mortar repairs by a stonework specialist though in the absence of any requirements arising from this reporting no apportionment is included in this respect. This is quite normal in a property of this age and construction.

Above the stonework banding details there are dressed lead flashings. These are provided to deflect water runoff away from the stonework and extend their serviceable life. These generally appear in a satisfactory order.

To the base of the wall there is a stone plinth facing. This generally appears in satisfactory order though with a displaced section to the left.



We have included provisional apportionment in this respect for release and refitting.

Otherwise the architectural mouldings are detailed by the render finishes. These generally appear in a satisfactory order.

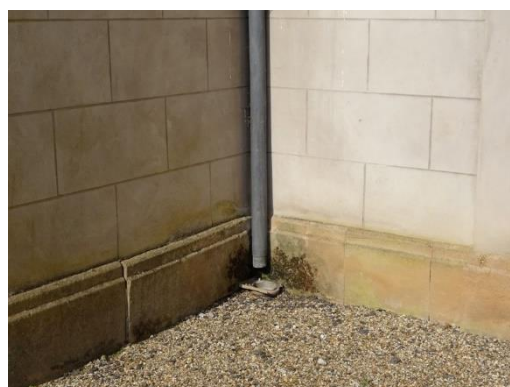
There were no indications of any built in or injected damp proof coursing at low level. We do not recommend the use of injected or built in damp proof coursing in a property of this age and construction which similarly to cementitious materials can serve to divert moisture to the interior of the building.

To the internal angles there are lead hoppers and fall pipes. The hoppers are dated 2001 and this may provide guidance for your solicitors enquiries as to dating the render finishes with which the dating would appear broadly consistent.



Otherwise the fall piping and hoppers generally appear in a satisfactory condition with no evidence of significant leakage or overflowing.

To the left however the fall piping stops short of the gutter arrangement below and we recommend this is extended into the gutter to ensure proper discharge of rainwater away from the property and its foundations and to reduce future property movement risks.



The door and window installations are in timber incorporating single glazing. They generally appear in a satisfactory condition. There is some external redecoration required to extend the serviceable life of the materials and we recommend this is programmed as a maintenance repair.



As a maintenance issue no apportionment is included in this respect.

There are timber decorative hood moulds to the door and window openings. These generally appear in satisfactory order.



To various windows the glazing is indicated of some age. Over time glazing will distort and slump slightly. This is mentioned for reference purposes and in line with expectations for a construction of this age and type.



There is a broken glazing pane to the central door set.



We have included provisional apportionment for replacement including safety glazing given the low level position.

The support arrangements above the door and window openings are concealed within the render finishes. Notwithstanding minor cracking in line with expectations for a property of this age and construction we found no significant damage, decay, deformation or structural failure indicated.



To the centre there is a twin step arrangement leading up to the entry door. This generally appears in satisfactory order.



To the right is the orangery building. This is addressed within our description to the right-hand elevation.

#### Left-hand Elevation





The survey to the left is addressed in two distinct sections. The first being the brick built construction to the rear left and centre including the tower, the second being the render finished construction to the front left corner of the building.

### Brick Built Rear Left Range



The elevation is dominated by the high level tower to the rear left corner. This is in a load bearing brickwork construction indicated in solid wall construction with stone architectural mouldings. The tower has a slight rearward distortion reflected at all levels.



There were no indications of significant structural compromise or recent or ongoing significant structural movement to the tower construction.

The brickwork coursing similarly is indicative of a historic slight movement toward this rear left-hand corner.





There is minor historic cracking indicated by the age between the ground floor and first floor window surrounds.



We have included a provisional apportionment for brickwork reinforcement and repair to re-establish brick bond locally.

There is some slight outward movement of the wall head.



This is common in a property of this age and construction.

In the absence of any recent or ongoing significant movement or significant structural compromise these are considered satisfactory in a property of this age and construction.

At high level there is some irregularity to the brickwork to the tower. In a property of this age and construction this raised no significant structural concern and there are no significant repairs arising from our reporting in this respect.

There are various areas of repointing required to the elevation and localised areas of minor crack repair. We have included a provisional apportionment in this respect.



There is again shaling and spalling to stonework.



Typical detail shown.

We have included a provisional apportionment for removal of detached stonework lenses at this stage to reduce safety risks to those using the building below.

In line with our advices above this should be programmed as an ongoing maintenance issue with no apportionment included for future repairs.

Otherwise the gradual powdering/erosion is considered a maintenance issue with no apportionment included in this respect. Typical detail shown.



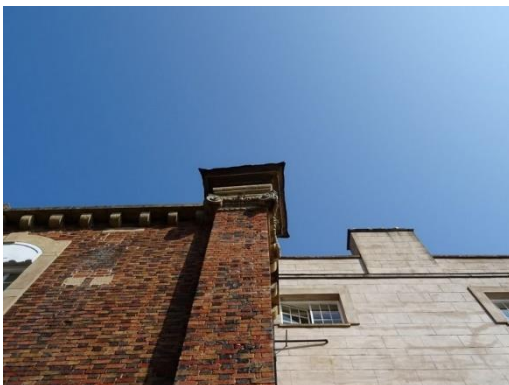


There is some vegetation growth establishing at high level within the brickwork.



As a maintenance issue this should be addressed as part of the normal maintenance cycle. No apportionment is included in this respect.

Notably there is some rotation of the brickwork and the cap detailing to the front left corner of the brickwork range.



This is common in a property of this age and construction and does not represent any significant structural compromise and is considered satisfactory in a property of this age and construction.

To the front facing walling to the tower at lower level there is some detachment of the gutter hopper. We have included provisional apportionment in this respect.



There is a metal rail type installation affixed to the tower. Its function could not be confirmed and this could not be inspected from our ground level vantage. We must limit our reporting in this respect. We recommend this is inspected at high level when access is next available together with an appraisal for removal should significant decay be indicated.



Inset between the brick crenelations to the tower belvedere there is metal balustrade railing indicated. This is indicated of some age and certainly would not meet modern safety standards. There is no requirement for retrospective compliance with modern building standards however the railing provides edge guarding/fall restraint at a significant height and we have included provisional apportionment for improvements in this respect.



No inspection of the second floor roofing was possible to the rear left corner of the building and notably this extends above the height of our camera pole access. Our reporting must be limited

in this respect. Our further reporting will continue from the tower vantage where access is available though otherwise we recommend this roofing is inspected when high level access is next available together with the completion of any necessary remedial repairs identified at that time.



There are historic stone plinth, corbel table and other architectural details to the elevation area. These generally appear in a satisfactory order. There is again some lead capping to the high level stonework to provide protection against erosion. This generally appears in a satisfactory order from our ground level vantage.

To the inner facing tower face there are further significant historic distortions noted to the walling again reflecting the age and construction of the building.



There were no indications of recent or ongoing significant movement or significant structural compromise and this is considered satisfactory in a property of this age and construction.

To this face the tower is similarly constructed in brick finishes with stone architectural detailing. In the absence of any recent or ongoing significant movement or significant structural compromise this is generally considered satisfactory. There is a metal balustrade indicated above a dressed lead cill. Again we recommend safety improvements.



Localised brickwork repairs/repointing are required and we have included provisional apportionment in this respect.

There are spalling stonework lenses and in places these are indicated as significant.



Attendance is required and we have included provisional apportionment for attendance by a suitably experienced stonemason and for high level access to safely remove/stabilise these.

Notably to the front right corner of the tower there is a significant stone section displacement and this is indicated around a socket to inset ironwork.



We highlight the need for maintenance redecoration of external metalwork where embedded to avoid the risks of rust jacking and such issue. We have included provisional apportionment for

the building up of plastic lime repairs around copper armatures to reduce the risks or further decay.

The stonework band detail above the wall sundial arrangement has a dressed lead flashing over and this generally appears in a serviceable order. There are indications of delamination of stonework finishes to the band detail and we have included provisional apportionment for careful safe removal by a suitably experienced stonemason.

In line with our advice above such issues should be anticipated in a property of this age and construction and are considered part of the normal maintenance cycle and future occurrences should be anticipated and programmed as part of future maintenance cycles.

There is a cast iron gnomon serving the wall sundial arrangement.



We reiterate our advice above for external decorative repair to reduce the risks of rust jacking. Some surface runoff/solute staining was noted to the stonework facings around the fixing positions. This is mentioned for reference purposes only.



At lower level and to the centre of the building the walling is similarly in load bearing construction finished externally with brick finishes and stone architectural detailing. There were no indications of significant cracking. Minor historic cracking was noted in line with expectations for a property of this age and construction and this has been subject to historic repair.



There is some undulation to the brickwork coursing lines reflecting minor historic movement in line with expectations for a construction of this age and type.



There is also, in line with our advice above, some historic deformation toward the wall head position.



We found no evidence of significant cracking or structural deformation or structural compromise to the main load bearing walls. The issues identified are in line with expectations for a property of this age and construction and raise no significant concerns.



The stonework corbel table and architectural detailing continue across this wall section. These generally appear in a satisfactory order notwithstanding stonework erosion and decay in line with expectations for a property of this age and construction.



These are considered satisfactory in a construction of this age and type. There were no indications of significant loose, detached or unstable materials.

Localised repointing was noted and we have included provisional apportionment in this respect.

To the front left corner of the building the external walls are again indicated in load bearing construction, reverting to ruled Ashlar effect render finishing. There are some distortions to the Ashlar ruling but this may reflect the setting out detail when this was finished. There were no indications of significant structural deformation.



Across the elevation notable through the render finishes there are a series of lines indicative of minor substrate cracking.



There are no indications of significant structural compromise, the extent of cracking might readily be anticipatable in a construction of this age and type, though for example to a brickwork substrate this might be barely noticeable. There were no indications of significant structural compromise. This is considered satisfactory in a property of this age and construction and may reflect previous repairs prior to render refinishing.

At high level above this front left corner to the building there are again multiple chimneystacks including those described previously to the front though with further stack arrangements heading rearward.



These generally appear in a satisfactory structural order notwithstanding some slight historic minor lean which is common in a property of this age and construction. In the absence of any recent or ongoing significant movement or significant structural compromise this is considered satisfactory.



We were unable to inspect the flues or flue terminals atop the chimneystacks or the flue terminal projecting above the central left area from a ground level vantage and must limit our reporting in this respect. We recommend these are inspected when high level access is next available together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

The wall copings to the wall head are in stone and these generally appear in satisfactory order with no obvious or significant issue or compromise.

There is a stone band detail with a dressed lead flashing together with stonework architectural mouldings to the front left corner of the building. These generally appear in satisfactory order.

Otherwise the architectural mouldings are encased in render finishes similarly to the front elevation. In line with our advice to the front we recommend enquiries via your Solicitor to confirm whether lime or cement based materials have been used in the external re-rendering of the property.

At low level there is a single storey roof with natural slate finishes to hipped and pitched roof slopes all finished with roll moulded dressed lead hips and ridge details. There is similarly a dressed valley gutter detail against the house. These all generally appear in a satisfactory order.

At low level the building has a stone plinth detail. There were no indications of any built in or injected damp proof coursing and we refer to our advice above in this respect.

In terms of the render refinishing this is clearly a modern finish. It is unclear whether this represents a replacement of previous finishes following existing profiles and details and thus is considered repair, or if not represents an alteration. We are mindful of the Listed Building status. We recommend enquiries via your Solicitor in this respect together with confirmation that all relevant Statutory Approval conditions were complied with fully at the time of construction works.

There are minor cracks to the render finishes, not indicative of any significant structural compromise and which as weather tightness repairs should be made good at the next external works cycle.



There is further minor cracking above the entry door to the single storey range and to the render finishes around.





As weather tightness repairs these should be made good at next external remedial works as maintenance issues in the absence of any recent or ongoing significant movement or significant structural compromise.

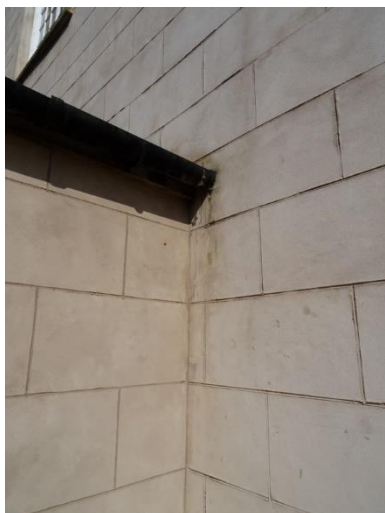
There is minor cracking below the first floor window position.



None were indicative of any significant structural compromise and as external weather tightness repairs should be addressed at the next external works cycle. No apportionment is included in this respect.

The metal rainwater goods generally appear in a satisfactory condition with no obvious evidence of significant leakage or compromise.

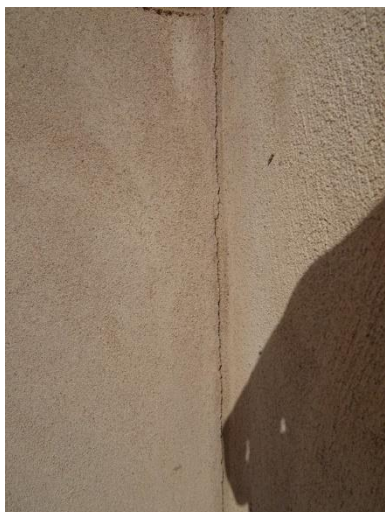
There is localised evidence of overflowing guttering. The guttering should be kept clear to allow proper rainwater discharge. This is a maintenance issue and no apportionment is included in this respect.



Otherwise the plastic and metal foul water goods generally appear in a satisfactory order with no significant leakage or overflowing notwithstanding historic deformations.



There is minor separation cracking at the junction between the main house and single storey construction.



This raised no significant structural concern and should be anticipated at the juncture between building ranges. In a more modern construction this would be addressed by the use of movement joint detailing. There is no retrospective requirement in this respect and this is considered satisfactory in a property of this age and construction.

The door and window installations are in timber incorporating single glazing historically and sealed unit double glazing to the replacement panels alongside the pool area.



The replacement panels are clearly a later alteration to the building and we recommend enquiries via your Solicitor to confirm that all requisite Statutory Approvals were obtained for their installation, that all necessary building inspections were completed at the time of construction works and that all Statutory Approval conditions were complied with in full.

There are low level service cupboard timber doors. These generally appear in a satisfactory order.

There are service pipe overflows. None were observed surcharging or discharging at the time of survey.

There is external lighting. This generally appears in satisfactory order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

The support arrangements above door and window openings are provided toward the centre and rear left within the brickwork sections by a combination of keystone arch details and shallow brick relieving arch details. These are traditional methods of providing support and considered satisfactory in the absence of any significant damage, decay, deformation or structural failure.



To the front left range the support arrangements are concealed by render finishes. Our reporting must be limited in this respect. We found no significant damage, decay, deformation or structural failure indicated.



There are again a series of window head timberwork details toward the rear left. These generally appear in a serviceable order though in need of external redecoration to extend their serviceable life.





### Rear Elevation



Our survey to the rear and rear right is divided largely by construction type with the brick construction to the rear and return walling forming the rear survey and the render finished elevation areas to the rear right and right being described to the right-hand elevation.

The tower dominates the elevation to the rear. The tower, in line with our advice above is constructed in load bearing construction with brick elevations and with stonework architectural detailing. We highlight that solid wall construction would be anticipated in a construction of this age and type. There are again indications of historic distortion in line with expectations for a construction of this age and type.



Again we highlight that such distortions are common in a construction of this age and type. The distortions similarly to our advices above are focused at high level to the front facing elevation area and notably the Ashlar quoin detailing is flush to this area as opposed to raised and profiled below and elsewhere. This may reflect historic rebuilding including potentially for the insertion of the wall sundial installation.





Such alterations and distortions are common in historic constructions and this raised no significant structural concern. In the absence of recent or ongoing significant structural movement or significant structural compromise this is considered satisfactory.

We recommend the historic deformations are monitored as part of any quinquennial inspection regime.

There is some deformation to the brickwork coursing to the crenelation to the front of the belvedere platform.



There were no indications of recent or ongoing significant movement or significant structural compromise and we suggest this likely relates to the minor deformations indicated above. These are considered satisfactory in a property of this age and construction.

There is further historic deformation indicated to the rear tower face.



This would appear to reflect historic movement with no indications of recent or ongoing significant movement or significant structural compromise and this is considered satisfactory.

To the front right corner of the tower the displaced stonework indicated from rust jacking was again noted. We reiterate our advice above for localised repair.



There are again areas of delamination to the stonework detailing and again the detaching stone lenses present a safety risk to those using the building and its environs below.



Typical detail shown.

In line with our advices above we recommend high level inspection and careful removal of detached lenses or their repair and stabilisation. We have included provisional apportionment in this respect.

Otherwise there were areas of significant stonework erosion though with no significant structural compromise, these are considered cosmetic and part of the natural patina of the building.





The softer stone materials are capped with a dressed lead flashing. This generally appears in satisfactory order with no significant issue or compromise. Localised rebossing is required to the rear left corner below the niche position and we have included provisional apportionment in this respect.



To the lower levels the elevations again continue in load bearing brickwork construction indicated in solid wall construction. There are historic deformations indicated to both general and localised areas.



These include minor cracking and we have included provisional apportionment for localised crack repairs to re-establish brick bond.



Otherwise we found no significant cracking or structural compromise to the main load bearing walls. The historic deformations are in line with expectations for a property of this age and construction and raised no significant structural concern. Again we recommend these are monitored as part of any quinquennial inspection arrangement.

The stonework to the lower levels again shows evidence of erosion, minor spalling and some decay.



There were no indications of significant structural compromise. The building should be managed and maintained to reduce decay. There is some moss and plant growth from within the walling and this should be carefully removed as a maintenance item.





Notably to the inner wall return the issue is focused and the walling is repointed in cementitious based mortars. There are also indications of moisture accumulation to the walling which has a parapet gutter detail behind and around the fall pipe drainage installation.



We highlight the need for regular gutter maintenance and clearance to reduce the risks of surcharge to the structure.

The issues are replicated to the first floor walling above at high level.



In terms of cementitious mortar use we do not recommend this in a property of this age and construction which is designed to naturally absorb/desorb moisture by dint of which there would usually be some slightly elevated moisture levels within the walling. Cementitious mortars limit the natural desorption and can lead to moisture concentrations within the walling. There were no indications of any significant issue or compromise arising at the time of survey and our recommendations are limited to the replacement of cementitious materials with lime based materials when the external repointing works are next completed.



As a long term maintenance issue no apportionment is included in this respect.

Elsewhere excepting localised repointing needs we found no significant cracking, structural deformation or structural compromise to the main load bearing walls.

To the right there is some deformation of the walling reflecting the age and construction of the property.

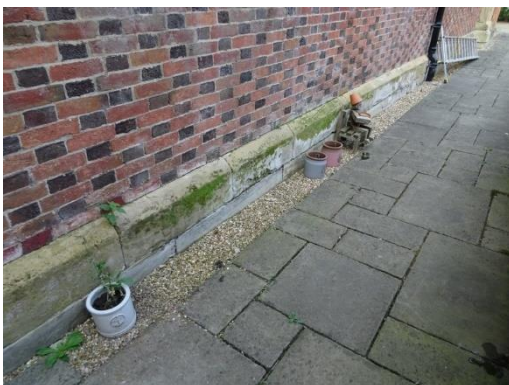




There are no indications of recent or ongoing significant cracking or structural compromise and this is considered satisfactory in a property of this age and construction. There are minor cracks indicated. These are in line with expectations for a property of this age and construction. These have been subsequently repointed and in the absence of any significant issue there is no further works required in this respect.



At low level to the rear right there is some moss growth and evidence of moisture retention to the walling. This is below similar indications at high level. There were no indications of significant issue or compromise and this is considered satisfactory.



In line with our advice above we do not recommend the building in or injection of damp proof coursings rather as a maintenance issue we recommend the identification of sources of moisture within the ground/low level building construction and their removal.

The walls feature a burnt diaper brickwork form.



This is an historic architectural detail and is mentioned for reference purposes only.

We have included provisional apportionment for localised brickwork repointing in lime based materials.

There are iron cramps visible at surface level and with burst stonework adjacent.





When the embedded iron cramps rust this causes expansion known as rust jacking and leads to displaced stonework. We recommend the effected areas are exposed and treated to limit further decay/rusting followed by the running in of plastic lime repairs to address the issue.

There is a further detached stonework section again indicated through rust jacking of wall cramps. We have included a provisional apportionment for remedial treatment of the rusted surfacing together with the running in of new stonework moulding to encase the embedded ironwork and reduce the risk of future decay and damage.



The rear (north front) is highly ornamented with stonework architectural detailing. This generally appears in a satisfactory order. There is similarly a highly detailed stonework heraldic arrangement and this generally appears in satisfactory order notwithstanding some loss of materials historically.



There are no indications of any obvious detachment indicated at the time of survey though the heavy relief of the detail precludes full inspection and we must limit our reporting in this respect. We recommend this is monitored informally in addition to any specific quinquennial inspection. To the viewing vantages between the belvedere crenelations there are metal railings inset. Our close quarters inspection from the belvedere platform show these positioned with a shallow edge distance between the railing and brickwork edge to provide restraint. There is also localised cracking in places around the railing fixing positions. We have included a provisional apportionment for further intrusive inspection and repair around the fixing positions together

with additional discreetly designed strapping installations to provide additional fall restraint capacity to all four sides of the belvedere.

The balustrade details would not meet modern Building Regulation requirements but there is no retrospective requirement in this respect.



The installations subject to stabilisation/strengthening are considered satisfactory in historic terms for the survey purposes. You may wish to provide additional safety glazing or similar installations behind the balustrades to provide additional protection against the risks of small children or pets falling through the railings.

There is a lightning conductor terminal secured to the rear right tile crenelation and this returns to the elevation. This generally appears in a satisfactory condition. We refer you to our previous advices in respect of the lightning protection installation and any testing, servicing and inspection regimes.

There are metal poles/frames affixed to the right elevation similarly to those to the left.



We refer you to our previous advices in this respect.



There is similarly iron poles affixed above the stone heraldic detail. These would be anticipated provided to hang a banner/pennant or similar arrangement on special occasions. These generally appear in satisfactory order. In line with our advices above these should be maintained to reduce the risks of rust decay and rust jacking.



At low level to the stonework there are inscribed legends.



These generally appear in a satisfactory order and are mentioned for reference purposes.

There is some vegetation growth establishing within the stonework joints. This should be carefully removed and the joints repointed. We have included provisional apportionment in this respect.



There are localised holes within the brickwork and in places these reflect decay. We have included provisional apportionment for localised repair.



There is also some localised brickwork erosion reflecting the age and construction of the property and notably this is located in areas of lime based rather than cementitious mortar.



In time brick reversal or replacement will be required as a maintenance item. There were no requirements at the time of survey and no apportionment is included in this respect.

The buttressing whilst clearly of some significant age historically is indicated as a later addition to the property built up to the rear elevation of the tower. This may reflect historic attempts at addressing movement.



There is localised minor separation cracking/displacement at the junction between the historic tower construction and the later buttressing reflecting the two stages of construction.



There are no indications of recent or ongoing movement or significant structural compromise and this is considered satisfactory.

There is a further legend indicated to the corbel table at high level to the rear.



Again this is mentioned for reference purposes. This is indicated as localised survival with no indications of any obvious or significant survival to the left or right where the corbel table detail is repeated.

There are further inscriptions to the left and right suggesting construction/design by Thomas Parkin and this provides evidence of remodelling around an earlier construction and this is indicated as consistent with the architectural evidence though further architectural enquiry is required to confirm this. The general date of construction is attributed to Thomas Parkin in the 18<sup>th</sup> Century. It is common for large scale remodelling to be referenced as rebuilding and further enquiry will be beneficial though falls beyond the scope of this reporting. This is mentioned for reference purposes.

At low level to the rear left corner there is a sheet of detached leadwork laid on the ground. There are no indications above of any obvious or significant loss or displaced material.



We have included a provisional apportionment for further high level inspection to establish the position of any missing material and replacement.

The window installations to the elevation are in timber incorporating single glazing. These generally appear in a satisfactory condition with no significant repair need indicated. There are localised repairs required in particular to the right and we have included provisional apportionment in this respect.



The doors are in timber and generally appear in a satisfactory condition.

Support over the door and window installation is provided by a combination of keystone stone window surrounds, flat and arched brick relieving arch details and wall plate details where these abut roof constructions. These all generally appear in a satisfactory condition with no evidence of significant damage, decay, deformation or structural failure indicated.

There are several brick infilled window and door surrounds. These generally appear in a satisfactory condition.

There are statuary stone niches with statues since removed.





These generally appear in a satisfactory order.

To the rear left corner adjacent to the tower there are areas of sporadic white staining.



In a sporadic presentation this is indicative of the last remnants of historic paint or lime wash finishes rather than any salt efflorescence. Efflorescence would raise concerns as the salts can expand and cause brick bursting or powdering dependant on the type of salt. This is considered satisfactory.

To the rear left corner there is a log store at low level.



The ceiling beyond is formed with a vaulted arch with detaching thin render finishes. We found no evidence of significant structural issue or compromise to those areas accessible to our inspection though must limit our reporting in this respect with the logs precluding inspection. We recommend when the logs are next cleared the area is inspected together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

There are no indications of any injected or built in damp proof coursing at low level. We refer you to our advices above in this respect.

At low level there are later though again historic infill structures similarly constructed and finished though with stone finished roofing to hipped and pitched surfaces and with dressed lead flashings and dressed lead rolled moulded hip details.



These generally appear in a satisfactory order.

The lower constructions are served by cast iron/metal guttering and fall piping and generally appear in satisfactory order with no significant leakage or overflowing.

At high level there is an upper cast fall pipe section with no fixing merely seated into the coupling below. We have included provisional apportionment for the introduction of fixings in this respect to reduce the risks of detachment and falling.



#### Right and Rear Right-hand Elevations



The elevations to the rear right include those finished with incised render finishes to replicate an Ashlar stone effect.

To the centre there is a masonry chimneystack indicated with dressed Ashlar finishes.





Notwithstanding historic deformations the chimney generally appears in a satisfactory structural order with no obvious or significant structural compromise or recent or ongoing movement. In a property of this age and construction the chimneystack distortions are considered satisfactory.

There are flue terminals atop. These generally appear in a satisfactory order though could not be inspected from our ground level vantage and we must limit our reporting in this respect. We recommend the flue terminals together with the chimney head and any seating/bedding/fixing are inspected when high level access is next available together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

There is a further chimney flue arrangement above the parapet walling toward the rear right corner.



Again the flues and terminals generally appear in a satisfactory order with no significant issue or compromise. We however must again limit our reporting in respect of ground level survey only and recommend when high level access is next obtained that the chimney heads together with any terminals and seating/bedding/fixings are inspected together with the completion of

any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

There are projecting gables above the roof line. These are finished with stone copings and generally appear in a satisfactory structural order.

The elevation areas are in load bearing construction finished externally with incised render finishes in an Ashlar block style finish. We found no evidence of significant cracking or structural deformation to the main load bearing walls beyond that expected for a property of this age and construction. There are minor historic deformations reflecting the age and construction of the property. In the absence of any significant structural compromise or recent or ongoing significant movement these are considered satisfactory.

We reiterate our advices for obtaining confirmation via your Solicitor of the render materials used. We refer you to our previous advices in this respect.

There are minor cracks to the render finishes and again there are areas of discolouration.



In line with our advices above these are considered satisfactory in a property of this age and construction, in the absence of any recent or ongoing movement or significant structural compromise.

There are areas of localised render delamination. We have included a provisional apportionment in this respect.

There are some areas where the incised detail to the render finishes distorts. This reflects the construction finishes rather than any subsequent or significant movement and this is considered a cosmetic issue. There are no works arising from our reporting in this respect.



The stone architectural detailing generally appears in a satisfactory order with no significant delamination, damage or failure. The stone band details are finished with a dressed lead capping.

There is historic decay/erosion reflecting the age and construction of the property but with no significant issue or compromise. Typical detail shown.



Otherwise the render finishes generally appear in a satisfactory order.

There is a render covered architectural band detail at high level to the rear central area.



This is split and the split section is at risk of falling onto the building and users below. We have included provisional apportionment in this respect.



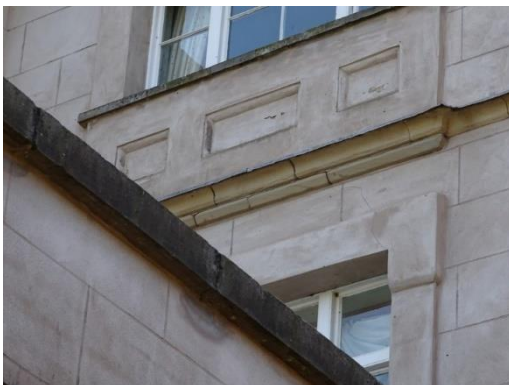
Around the base of the construction there is a stone plinth detail historically and a reconstituted stone or similar plinth detail where replaced. These generally appear in satisfactory order.

To the rear central area there is some vegetation growth from the wall head copings.



These should be carefully removed as a maintenance item and the gaps repointed with lime based mortars to preclude further growth.

There is minor cracking to the walls through the render finishes.



Typical detail shown.

In line with our advices to the front elevation there are no indications of recent or ongoing significant movement or significant structural compromise and this is considered satisfactory.

There are no indications of any built in or injected damp proof coursing. We refer you to our previous advices in this respect.

The cast iron rainwater and fall pipe arrangements generally appear in a satisfactory order with no obvious evidence of significant leakage or overflowing.

The door and window installations are in timber and single glazing is incorporated. These generally appear in a satisfactory condition. your Solicitor should confirm the obtaining of all

requisite FENSA or Building Regulation certifications for any door and window installations after 2002.

There is low level glazing to the base of the stair and to the porte-cochere.



There is further low level glazing to the porte-cochere and to the orangery. To the porte-cochere and orangery there are indications of thicker/toughened glazing though the use of safety glazing could not be confirmed and we must limit our reporting in this respect. We recommend enquiries via your Solicitor to confirm that toughened/safety glazing was installed as part of any Statutory Approval process.

To the base of the stair there is some discolouration to the historic glazing.



This is indicated reflecting prior historic glue residues or similar used in the application of internal glazing films. As a cosmetic matter no apportionment is included in this respect.

The glazing is not indicated as toughened/safety glazing though is noted historic and in this respect there are no works arising from our reporting in this context. We highlight the issue as a safety concern.

The adaptations to the porte-cochere to bring this into the internal accommodation and the construction of the orangery are both indicated as later alterations to the property.



We recommend enquiries via your Solicitor to confirm that all requisite Statutory Approvals were obtained for the constructions, that all necessary building inspections were completed at the time of construction works and that all Statutory Approval conditions were complied with fully.

The roofing above the porte-cochere and orangery are of a flat roof construction with atria type lightwell arrangements. These generally appear in a satisfactory condition with no obvious evidence of any significant issue or compromise.

There is some efflorescence to the rear right corner of the porte-cochere and notably this occurs only around a crack to the render finishes and below. Leakage from the roof construction above is indicated and we have included provisional apportionment for further high level and intrusive inspection and repair.

There is localised damage to the orangery glazing.



We have included provisional apportionment in this respect.

There is further staining indicative of historic glue residue to the orangery glazing.





Again in the absence of any significant issue or compromise this is considered satisfactory.

The support arrangements around door and window openings are provided by concealed arrangements with the render finishes taken over and enclosing and precluding any detailed inspection. We however found no significant damage, decay, deformation or structural failure indicated.

To the rear central area the support arrangements are concealed directly by render finishes with no external surround indicated. We found no significant damage, decay, deformation or structural failure though minor cracking was indicated. In the absence of any significant structural compromise this is considered satisfactory to render finishes.

To the rear central area there are hipped and pitched slate finished roofs at low level with dressed lead flashings and rolled moulded hip and ridge arrangements. These generally appear in satisfactory order with no significant missing, damaged or displaced slates or other issue indicated.

Adjacent there is a stepped flat roofing arrangement with felt roof finishes. These generally appear in a satisfactory order.

There are historic minor deformations indicated at door and window head positions reflecting the age and construction of the property. There are no indications of recent or ongoing significant movement or significant structural compromise and these are considered satisfactory in a property of this age and construction.



The cast rainwater gutters, fall pipes and cast soil and vent pipes and branch waste connections otherwise generally appear in a satisfactory condition with no obvious or significant leakage indicated.

To the rear central area there is some algae growth below the gutter hopper position indicative of the surcharge of the hopper. The rainwater guttering including parapet guttering should be maintained clear to allow proper discharge of rainwater away from the property and its foundations.

There is a mechanical extract louvre cover with no louvres. We have included provisional apportionment in this respect.

There are service pipe overflows. None were observed surcharging or discharging at the time of survey and this is considered satisfactory.

## 7. Internal condition of the property

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In this section of our report, we summarise the defects noted and principal concerns regarding the internal condition of the property.

### Tower



The floors have been formed in substantial exposed timber joists which were noted to be structurally sound with no recent deflection noted. Splitting of the joists was noted, however this is not considered significant for their age and has not affected their structural integrity.



Evidence of a previous infestation was noted to the exposed timbers where we cannot confirm that the infestation is dormant. Unless a recent treatment certificate is available, we would advise that a specialist company is instructed to inspect the timbers and treat as necessary.





The walls have been constructed in fair faced brick with no structural cracking noted.

Various isolated bricks have begun to perish, however not considered significant for the age of the property.



Arches support the openings above the recesses which were noted to be structurally sound with no failure noted.



The window is timber framed incorporating single glazing which is generally in poor condition and requires localised repairs and decoration in the immediate term in order to prevent its further deterioration and vermin ingress.



A lead downwater pipe is located adjacent the staircases which is tired, however no evidence of leaks were noted.



A timber staircase gave access up to the upper floor. The staircase is original and as a result of prolonged infestation, localised damage was noted, resulting in irregular height. We would advise that localised repairs are carried out to the staircase, in order to prevent its ongoing deterioration and improve safety.



Previous makeshift repairs have been carried out to the staircase which are out of keeping with the character of the property.



The balustrades are open therefore care should be taken in order to prevent risk of falls from heights.

Where the staircase supporting timbers have been subject to prolonged infestation, this has resulted in reducing their structural integrity, therefore as part of the repairs to the staircase, strengthening works will be required.



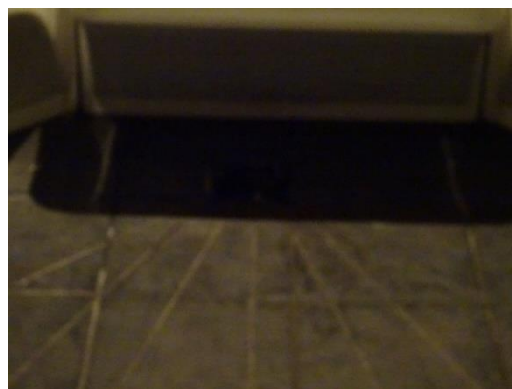
Temporary lighting has been installed within the stairwell. Consideration should be given to installing permanent lighting in order to improve visibility and safety.

**Note -** The mortar pointing around the edges of the lower window has deteriorated, therefore will require renewal in the immediate term, in order to prevent vermin ingress being an ongoing issue.





Note – photo of damaged joists where strengthening is required.



Exposed electrics are noted around the stairwell which we would advise are made safe by a competent and qualified electrician in the short term.



Timber braced doors are located at the top and bottom of the staircase which are considered fit for purpose.

### Three Bedroom Living Space

#### Bedroom Three



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

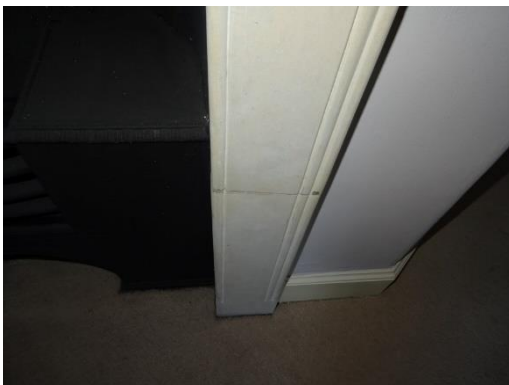
Passive vents are located within the walls and as a result no significant build-up of condensation was noted.

The joinery around the room is in a good condition having been recently decorated.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The chimney breast is located in the rear right hand corner of the room to correspond with that noted above and below. The underside of the chimney has been blocked up and as a result the fireplace is currently redundant.

The chimney incorporates a stone surround. Localised damage was noted to the surround most likely as a result of expansion and contraction caused by the heat produced by the fireplace, however this is of no significant concern.



The window is timber framed incorporating single glazing, which is relatively tired, with localised repairs having been previously carried out. The window is however considered fit for purpose.

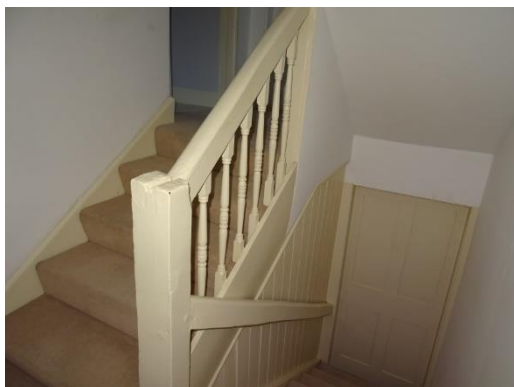
It should be noted that due to the age and type of the windows they will be relatively inefficient due to the gaps evident around the frames.



The room is heated by an electric panel heater.

The floor has been covered with a fully fitted carpet which was noted to undulate under foot, however not considered significant for the age of the property, with the undulations considered to be within an acceptable tolerance.

### Stairwell



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

A timber staircase gave access up to the upper floor. The staircase was noted to lean however this appears historic and non-progressive. We would however advise that care is taken when using the staircase in order to prevent risk of trips and falls.



The stairs and landing have been covered with a fully fitted carpet which were noted to undulate under foot. Various floorboards were noted which feel slightly soft under foot which we would advise are secured down when the carpet finishes are next pulled back.

The joinery around the stairwell was in a fair condition with only general wear and tear noted.

A door is located at the base of the stairwell which could be locked from below. We would advise that the locks are removed to allow for an escape in the event of emergency.



The window is timber framed incorporating single glazing which is relatively tired, however is considered serviceable with no rot or infestation noted.



### Bedroom One



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

A supporting arch is located within the rear wall. Slight cracking was noted to the head of the arch which has resulted in de-bonding of the plaster. Initially we would advise that the loose plaster is hacked back with localised patch repairs carried out. We would then advise that the arch is periodically monitored and in the unlikely event that further cracking occurs, it will then be necessary to carry out an arch repair in order to reinstate its structural integrity.



A small downstand is located in the ceiling where we consider a joist end to be concealed, however of no significant concern.



The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and generally felt level and firm under foot.

The chimney breast is located within the corner of the room to correspond with that noted above and below. The underside of the chimney has been amateurishly blocked up, however of no significant concern.



The chimney breast incorporates a stone fireplace which is in keeping with the character of the property.

The window is timber framed incorporating single glazing which requires overhaul to include repair of several broken panes and decorations.

Due to the poor condition of the window, localised water ingress has occurred resulting in localised rot which will require repair prior to decoration.



The window has slightly warped and therefore will require adjustment in order to allow its operation and improve its thermal efficiency.





## Bedroom Two



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and generally felt level and firm under foot.

The chimney breast is located within the corner of the room to correspond with that noted above. The underside of the chimney has been amateurishly blocked up, however of no significant concern.

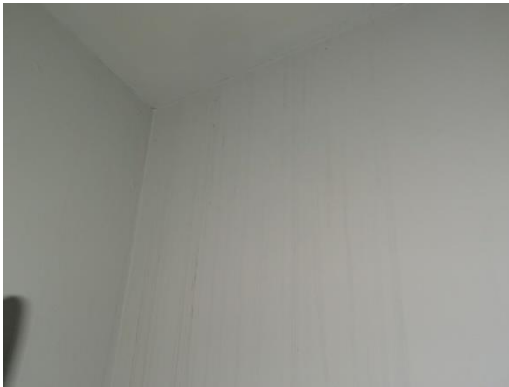


The chimney breast incorporates an open fireplace with a stone surround in serviceable condition in keeping with the character of the property.

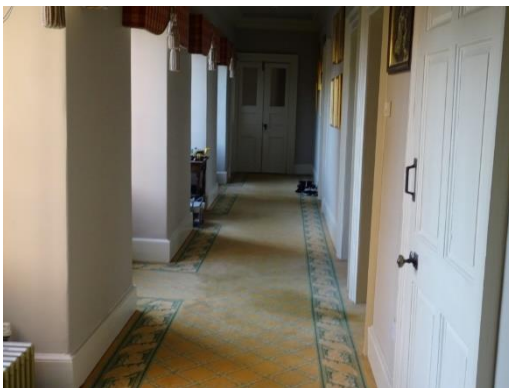
The window is timber framed incorporating single glazing which is relatively tired requiring general overhaul to include decoration.



Water staining was noted to the wall adjacent the door which has tracked down the wall. We consider the damp stain to have occurred as a result of water ingress around the edge of the windows within the tower. Once it can be confirmed that the windows are weathertight, we consider that no further water ingress will occur, at which time the damp stain can be stain blocked and then decorated.



## Hall



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition having been recently decorated.

The windows are in a fair condition having been recently overhauled and decorated, however a single glazed panel was noted to be damaged requiring replacement.



The floor has been covered with a fully fitted carpet and generally felt level and firm under foot.

Recessed lights have been installed within the ceiling which were noted to be firmly secured into position.

At the end of the hall is an understairs cupboard. The underside of the staircase has been boarded over. Minor de-bonding of the plaster was noted, however of no significant concern and simply due to normal reverberation.



The walls have been formed in brick finished with render. Localised de-bonding of the render was noted, however of no significant concern.

The floor has been covered with plyboard preventing an inspection of the floor joists however felt firm under foot.

An electrical consumer unit is located within the understairs area which we assume serves the three bedroom living space only however this cannot be confirmed. The consumer unit



is modern incorporating modern circuit breakers and a residual current device. We would advise that your solicitor obtains all the necessary certificates and warranties in respect of the electrical system.

Leading off the hall is an airing cupboard.

General cracking was noted to the walls however this is of no structural concern and simply due to normal age related wear and tear of the lath and plaster and requires filling prior to decoration.



Two consumer units are located within the airing cupboard. The consumer units are relatively dated, however incorporate modern circuit breakers. Where circuit breakers have been removed adhesive tape has been amateurishly applied.



Shrinkage cracking was noted around the corner of the room which is of no structural concern however requires filling prior to decoration.



### Laundry Room



The walls and ceilings are plastered finished with emulsion. Slight board cracking was noted to the ceiling which was of no structural concern and requires filling prior to decoration.

The joinery around the room is in a fair condition however localised amateurish repairs have been carried out to the skirtings which is out of keeping with the character of the property.



The skirtings were noted to have slightly warped therefore will require localised repairs and securing back to the wall.

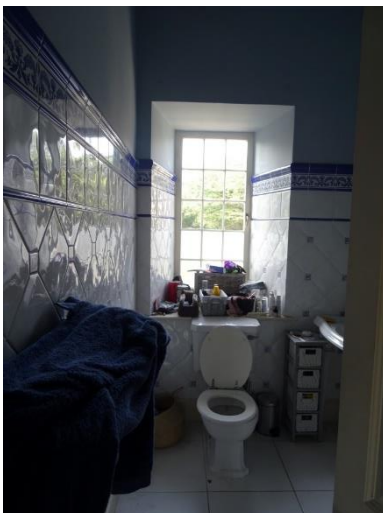


The floor has been covered with vinyl strips which are slightly worn, however the floor felt level and firm under foot.

Localised repairs are required to the walls where redundant fixtures and fittings have been removed which we would advise is carried out prior to decoration.



## WC

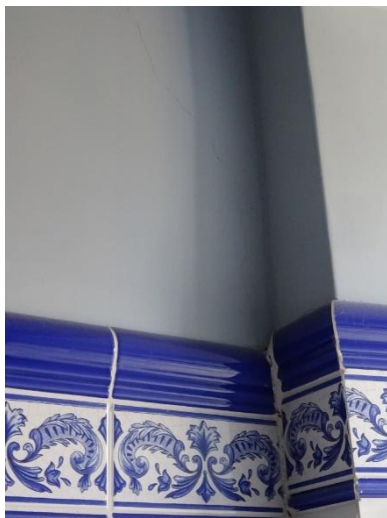


The walls and ceilings are plastered finish with an emulsion with no structural cracking noted.



The sanitary fittings are relatively dated and begrimed, requiring cleaning down, however are in keeping with the character of the property.

Ceramic tiles have been installed to the walls and floor with no splitting of the tiles noted. Localised opening up of the grouting around the corner of the room is evident where the wall separating the kitchen from the WC has slightly dropped. We consider the wall to most likely have dropped as a result of being supported on a timber joist which would not be considered unusual for the age of the property. The dropping of the wall appears historic and non-progressive which suggests that the deflection of the timber support has reached its limit. We would however advise that the tiles are re-grouted and the slight diagonal cracking adjacent to the window is filled, with the repair then used as a visual monitor. In the unlikely event that further movement occurs to the wall, it will then be necessary to open up the floor to carry out an inspection of the concealed support, with repairs carried out as necessary.



The plumbing beneath the sanitary fittings was inspected with no evidence of leaks noted.

The joinery around the room is tired and worn requiring decoration.

The floor felt level and firm under foot.

Minor corrosion was noted to the underside of the radiator which we would advise is treated in the immediate term.

The mastic seal around the edge of the bath is showing general deterioration requiring cutting out and renewing in order to prevent the risk of damp staining to the ceilings below.

The bath incorporates water jets. We would advise that the water jets are regularly cleaned in order to prevent being a Legionnaires risk.

The window is timber framed incorporating single glazing which was relatively tired requiring overhaul to include decorations.

Air vents have been installed within the WC window however these would benefit from being replaced with a mechanical extraction in order to prevent condensation building up within the room.



### Kitchen



The walls and ceilings are plastered finished with an emulsion. Slight cracking was noted to the ceiling where the plaster finishes have begun to de-bond, which is not considered unusual for the age of the property and requires filling prior to decoration.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is relatively tired requiring decoration.

The kitchen features base units and wall cabinets which have been subject to heavy wear and tear.

The plumbing beneath the porcelain sink was inspected with no evidence of leaks noted.

A mechanical extractor has been installed above the cooker hob however we were unable to identify a discharge point for the flue and therefore it will likely be relatively ineffective.

Ceramic tiles have been installed to the back of the worktops with no opening up of grouted joints or splitting of tiles noted.

The floor has been surfaced with engineered timber which is relatively worn and as a result was noted to be splitting at the junctions, however the floor felt level and firm under foot.

The window is timber framed incorporating single glazing which is relatively tired and requiring overhaul to include decorations.

### Sitting Room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition having been recently decorated.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The window is timber framed incorporating single glazing. Minor surface rot was noted to the window as a result of water ingress which will require sanding back and decorating. It should be noted that due to the type and style of the windows, they will be subject to water ingress until such time they are eventually replaced.



The chimney breast is located within the room to correspond with that noted above and below.

The chimney breast incorporates an open fireplace with a granite surround and hearth which is in a serviceable condition in keeping with the age of the property.

The fireplace incorporates a gas fire. Unless the gas fire has been tested and inspected within the last 12 months, we would advise that it is tested by a competent and qualified Gas Safe Registered Engineer.

Rodent traps were evident within the fireplace which suggests there is rodent activity.

### **Servant's Stairwell**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.



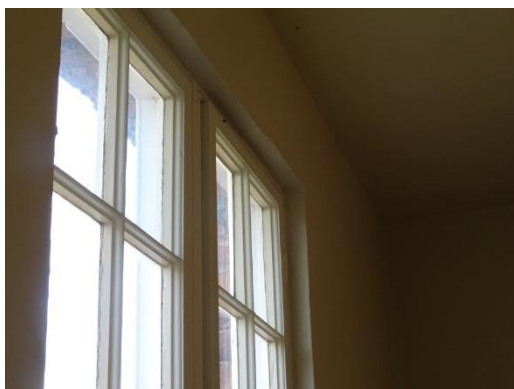
The underside of the staircases have been boarded over preventing an inspection of the stairs. We however noted no cracking to the underside of the staircase to suggest the staircases not to have been adequately supported.

Timber staircases gave access to the upper floors with no significant creaking of treads noted.

The stairs and landings have been covered with a fully fitted carpet and felt level and firm under foot.

The joinery around the stairs and landing is in a fair condition with only general wear and tear noted.

The windows are timber framed incorporating single glazing which have been relatively well maintained. Minor warping of the frames was however noted, which will reduce their thermal efficiency.



The window is timber framed incorporating single glazing which is in a fair condition with no significant damage noted.



## Second Floor Flat

### Kitchen



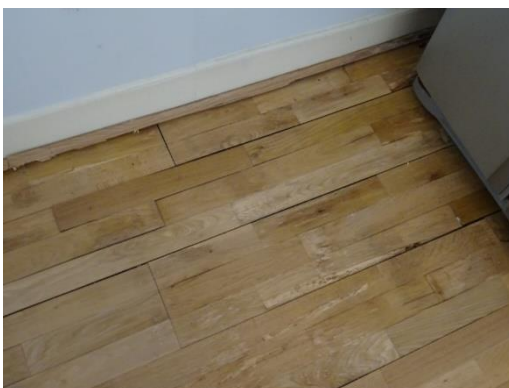
The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The kitchen features a range of base units and wall cabinets which are relatively modern, however have been subject to wear and tear.

The plumbing beneath the stainless steel sink was inspected with no evidence of leaks noted.

The floor has been surfaced with engineered timber which is in poor condition and has been subject to water ingress where we consider white goods to have failed. Due to the extent of the damage we consider it would be more economical to replace the floor covering rather than to repair.



A mechanical extractor has been installed above the cooker hob which was noted to be fully operable at the time of our inspection.

The window is timber framed incorporating single glazing which has been relatively well maintained with no significant damage noted.

Ceramic tiles have been installed to the back of the worktops with no opening up of grouted joints or splitting of tiles noted.

## Hall



The walls and ceilings are plastered finished with emulsion. Slight board cracking was noted to the ceiling which was of no structural concern.

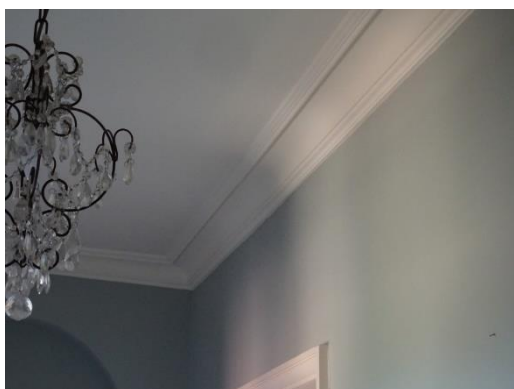
PVC framed atria lightwell incorporating double glazing is located within the main ceiling with no damp staining evident around the seals to consider any failure of the flashings or seals above.



The timber ceiling beam is exposed which has been subject to infestation, however we noted no deflection to the beam to consider it not to be providing adequate support. Where an infestation could be inspected, this appeared dormant with no evidence of an active infestation noted at the time of our inspection.



The ceiling within the rear of the hall was noted to slope, however there was no cracking around the coving to consider the sloping to be progressive.



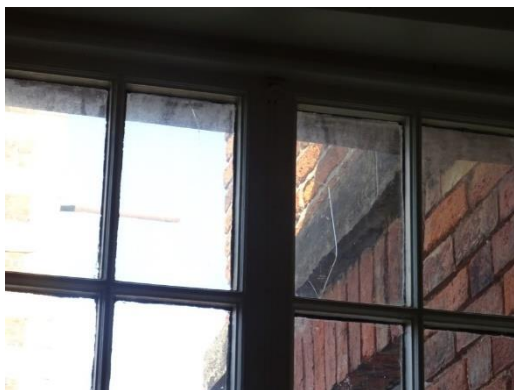
The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet. The floor within the rear of the hall was noted to slope down to correspond with the sloping ceiling, however there was no cracking around the joinery to consider the sloping to be progressive.



The windows are timber framed incorporating single glazing which have been relatively well maintained. Minor warping of the windows was noted which was not considered unusual for the age of the property. The window within the front of the hall requires localised repairs where several glazed panes were noted to be damaged.





A metal frame lightwell incorporating double glazed is located within the floor to give natural light to the main landing and has been relatively well maintained with no damage noted.

A timber balustrade has been installed around the edge of the domed lightwell to prevent risk of injury to young children.



The balustrade does not provide adequate lateral restraint against falling onto the glazed dome and should be strengthened.

Low wattage recessed lights have been installed in the ceiling which were noted to be firmly secured into position.

Coving has been installed around wall ceiling junctions with no opening up of coving joints noted.

Where arches support the masonry above slight cracking was noted, however this is not considered significant with no failure of the arches noted.

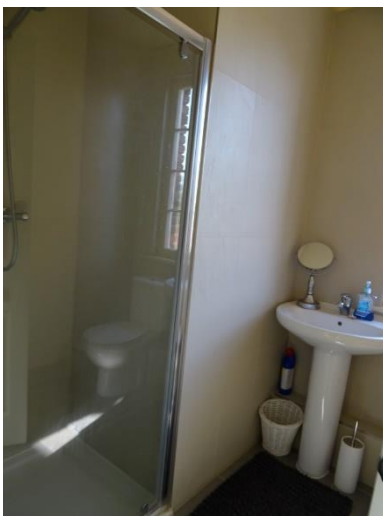


The door giving access through the rear hall has been cut out of square due to the sloping floor with the door being fully operational at the time of our inspection, which again confirms that the sloping is historic and non-progressive.

An electrical consumer unit serving the flat is located at high level within the front of the hall, which is relatively dated, however does incorporate circuit breakers.



### Shower room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Slight damp staining was noted to the ceiling which suggest that the lead flashing detail above has failed. We would advise that a competent roofing contractor is instructed to inspect the lead detail above and repair as necessary. We would then advise that the damp stain is stain blocked and decorated.



The sanitary fittings are relatively modern however the sanitary furniture does require repair.



The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

Ceramic tiles have been installed to the back of the sanitary fittings evident to the floor with no opening up of grouted joints or splitting of tiles noted.

## Bedroom One



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The window is timber framed incorporating single glazing. This is in a fair condition having been recently decorated.

### **Bedroom Two**



The walls and ceilings are plastered finished with emulsion. Slight surface plaster cracking was noted to the walls and ceiling but of no structural concern and simply requires filling prior to decoration.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.



The floor has been covered with a fully fitted carpet which was noted to undulate, however not considered significant for the age of the property with the undulations considered to be within acceptable tolerance.

The chimney breast is located within the room which has been left open therefore would benefit from being closed off in order to prevent debris collecting at the base of the fireplace.



General repairs are required to the walls where redundant fixtures and fittings have been removed.

Exposed electric cables were noted which we would advised are made safe by a competent and qualified electrician.



The window is timber framed incorporating single glazing which is in a fair condition having been recently decorated.

The chimney breast incorporates a cast iron fireplace which is in keeping with the age and character of the property.

### Bedroom Three



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The window is timber framed incorporating single glazing which is in a fair condition with localised repairs noted and has been recently decorated.

The chimney breast is located within the room which corresponds with that noted above and below. The chimney breast is open and therefore would benefit from being closed off in order to prevent debris collecting at the base of the fireplace.

The chimney breast incorporates a cast iron fireplace which is in keeping with the age and character of the property.

The floor has been covered with a fully fitted carpet which was noted to slightly undulate under foot, however not considered significant. At the time of our inspection we noted an insect infestation which will require removal.



## Bathroom



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

There is no opening window light within the room therefore we would advise that a mechanical extractor is installed in order to prevent condensation building up.

The sanitary fittings are modern, however are begrimed requiring cleaning down.

The sanitary furniture requires repair or replacement.



Ceramic tiles have been installed to the walls and floor with no opening up of grouted joints or splitting of tiles noted.

Localised damage was noted to the bath side panel due to prolonged saturation and will require replacement.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

#### Bedroom Four



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet which was noted to slightly slope under foot to correspond with the floor within the hall.

The door is out of square however the door was operational at the time of our inspection which confirms that the sloping of the floor is historic.

The window is timber framed incorporating single glazing which is in a fair condition with only minor surface rot noted.

The room is heated by an electric panel heater.

Leading off the stairwell is a built-in store cupboard with no significant defect noted.



### Bedroom Five



The walls and ceilings are plastered finished with emulsion. Slight plaster debonding is noted within the front left hand corner of the room where the lath and plaster wall abuts the masonry wall which is of no structural concern. We would however advise that the loose plaster is hacked back with patch repairs carried out prior to decoration.



Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet which was noted to slightly undulate under foot, however not considered significant for the age of the property.

The window is timber framed incorporating single glazing which requires localised repair and decoration.



The room is heated by an electric panel heater.

### Bedroom Six



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Minor repairs have been carried out to the ceiling within the corner of the room where we consider water ingress to have occurred. There is no recent damp staining which suggests that the water ingress has been previously identified with repairs carried out to the roof above, as necessary. We would simply advise that this is periodically inspected and should further damp occur then it will be necessary to instruct a competent roofing contractor to gain access above and repair as necessary.



The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet which was noted to slope under foot to reflect that noted within the hall, however the floor felt firm.

The door is out of square however the door was operational at the time of our inspection which confirms that the sloping of the floor is historic and non-progressive.

The chimney breast is located within the room to correspond with that noted above and below. The underside of the chimney is open which would benefit from being closed off in order to prevent debris collecting at the base of the fireplace.

A cast iron fireplace has been installed within the chimney which would benefit from being cleaned down.



The window is timber framed incorporating single glazing which requires localised repairs and decoration.



There is no heating within the room

### Bathroom Three



The ceiling is plastered finished with emulsion with no structural cracking noted.

Low wattage recessed lights have been installed within the ceiling which were noted to be firmly secured into position.

Ceramic tiles have been installed to the walls and floor with no opening up of grouted joints noted. Minor splitting of various floor tiles was noted, which will require replacing. It should however be noted that the tiles maybe difficult to source.

The sanitary fittings are relatively modern and in serviceable condition, however would benefit from being cleaned down.

The joinery around the room is in a fair condition with only general wear and tear noted.

The window is timber framed incorporating single glazing which is in a fair condition however would benefit from decoration.

A commercial electrical consumer unit is located within the bathroom which incorporates modern circuit breakers.





An electric shower has been installed over the bath which was modern and noted to be fully operable at the time of our inspection.

An isolation switch for the shower is located on a pull cord switch within the ceiling in accordance with current regulations.

Prior to further use of the shower, we would advise that a shower screen is installed in order to prevent risk of damp staining to the ceilings below.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

## **Main House**

### **Third Floor**

#### **Bedroom**



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted. The door giving access into the room was noted to catch on the carpet finishes therefore would benefit from adjustment.

The floor has been covered with a fully fitted carpet and felt relatively level and firm under foot.

The chimney breast is located within the room to correspond with that noted above and below.

An aluminium flue is located within the underside of the chimney which is redundant and therefore would benefit from being removed with the chimney then closed off.



The chimney incorporates an open cast iron fireplace with stone surround. Slight damage was noted to the fireplace which would benefit from specialist repair.



The bay parapet could be inspected from inside the room.

The bay has been formed in fair faced brick which requires general repointing.



The bay floor has been lined with lead with no splitting of the lead noted. Where the lead abuts the brickwork it has pulled away requiring dressing into the brickwork in order to prevent water ingress.



The drainage outlets within the bay were noted to be blocked at the time of our inspection requiring clearing in order to prevent a build-up of standing water. It should be noted that the clearing of the drainage outlets will be an ongoing maintenance issue.



### En Suite



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a good condition having been recently decorated.

The floor has been surfaced with ceramic tiles with no opening up of grouted joints or splitting of tiles noted with the floor feeling level and firm under foot.

The sanitary fittings are modern and in a good and serviceable condition.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

Exposed electric cables were evident around the room which we would advise are made safe by a competent and qualified electrician.

The window is timber framed incorporating single glazing which was relatively tired requiring decoration.

The chimney breast is located within the room to correspond with that noted above and below.

The underside of the chimney is open which would benefit from being closed off in order to prevent further debris collecting at the base of the fireplace.

The chimney breast incorporates cast iron fireplace with stone surround which is in a serviceable condition in keeping with the character of the property.

#### **Airing cupboard**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.



The floor has been covered with a fully fitted carpet and felt level and firm under foot.

A vented hot cylinder is located within the second-floor flat which is relatively modern with no evidence of significant corrosion or leaking was noted.

An open pipe was noted within the cylinder which will require closing off.



An inline pump has been amateurishly installed to the associated pipework however no evidence of leaks were noted. We would advise that boxing is installed around the pump in order to prevent accidental damage.



### Servant's Second Stairwell



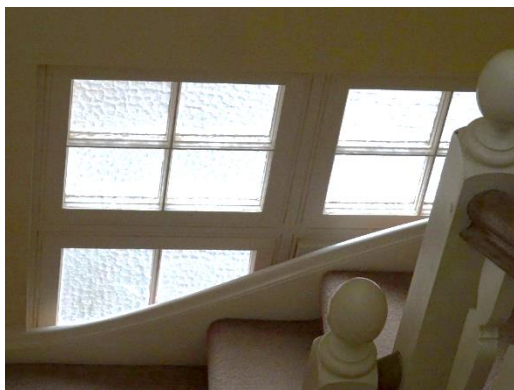
The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Damp staining was noted to the ceiling where we consider the roof above to have failed. We would advise that a competent roofing contractor is instructed to gain high level access and carry out the necessary repairs with the damp staining then stain blocked and decorated.



The windows are timber framed incorporating single glazing which are relatively tired requiring decoration.

The window adjacent the staircase is low therefore we would advise that a balustrade is installed in order to prevent risk of injury.



A timber staircase gave access up to the upper floors with no significant creaking of the treads noted.

The stairs and landing have been covered with a fully fitted carpet which generally felt level and firm under foot.

The joinery around the stairs and landing is in a fair condition with only general wear and tear noted.

### Landing



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

The ceiling was noted to slope to reflect that noted to the second floor landing floor. No cracking was noted around the coving or the wall / ceiling junctions to consider the sloping of the ceiling to be progressive.

The wall separating the landing from the bedrooms was noted to slightly bow however no cracking was noted around the wall junctions to consider the bowing to be progressive therefore we consider this to be historic and unlikely that any further bowing will occur.

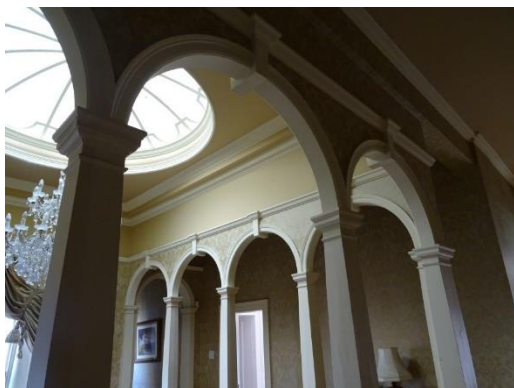
Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

A substantial timber staircase gave access up to the landing with no significant creaking of treads noted.

The gaps between the balustrade and spindles are slightly too wide by modern regulations therefore care should be taken in order to prevent risk of injury to young children.

The balustrade incorporated decorative timber posts and arches which were noted to be structurally sound with no significant damage noted.



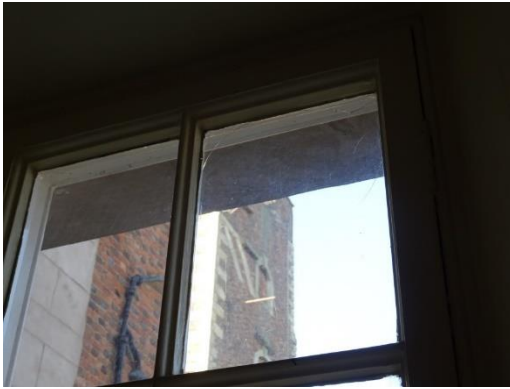
The windows are timber framed and incorporate single glazing which are in fair condition with only general wear and tear noted.

Minor damp staining was noted around the windows due to their slight warping as a result of age related wear and tear.



Localised damage was noted to various panes which will require replacing.





Stone arches to the floor above with no evidence of failure noted.



The landing has been covered with a fully fitted carpet which was noted to be lifting at the junction and requires securing into position in order to prevent it being a trip hazard.



The main landing area is heated by modern pressed metal radiators with no significant corrosion noted.

### Bedroom One



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The walls incorporate decorative cornicing. Slight displacement was noted to the cornicing in various locations however this appears historic and non-progressive.



Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates a cast iron fireplace with a gas fire and granite surround. Should the gas fire not have been inspected in the last 12 months, then we would advise that it is tested by a competent and qualified Gas Safe Registered Engineer prior to further use.



The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The window is timber framed incorporating single glazing which is in a fair condition with surface rot noted which is of no significant concern.

The room is heated by two substantial cast iron radiators with no evidence of leaks or corrosion noted.

Timber shutters have been installed to the windows which were noted to be fully operational.

Leading off the bedroom is a **dress**ing room.



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Decorative cornicing has been installed to the walls with no damage noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The window is timber framed incorporating single glazing, which is slightly tired, however no significant damage was noted.

The room is heated by a cast iron radiator which would benefit from being decorated.

Built-in wardrobes have been installed around the room which are relatively modern and only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The chimney breast is located within the room to correspond with that noted above and below. The chimney breast incorporates a cast iron open fireplace with a granite surround and hearth. The chimney has been closed off in order to prevent debris collecting at the base of the fireplace.

Leading off the dressing room is an **En-suite bathroom**.



The ceiling is plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The walls have been surfaced with ceramic tiles with no opening up of grouted joints or splitting of tiles noted.

The floor has been covered with part carpet, part ceramic tiles with no opening up of grouted joints or splitting of tiles with the floor feeling level and firm under foot.

The sanitary fittings are modern, however begrimed, requiring cleaning down.

The overflow to the bath requires reinstating in order to prevent risk of water damage to the ceilings below.





Base units have been installed within the room which are relatively modern, however have been subject to wear and tear.

The window is timber framed incorporating single glazing which was in a fair condition however requires localised repair and decoration.



The chimney breast is located within the room to correspond with that noted above and below. The chimney breast incorporates a cast iron fireplace and gas fire which we would advise is tested by a competent and qualified Gas Safe Registered Engineer should it not have been tested in the last 12 months.

The underside of the chimney is open and as a result of build-up of debris was noted within the fireplace. At the time the gas fire is tested, we would advise that the engineer confirms that the chimney has been adequately lined.

The room is heated by two cast iron radiators with no significant corrosion noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

## Bedroom Two



The walls and ceilings are plastered finished with emulsion. Slight cracking was noted to the ceiling where the plaster finishes have begun to de-bond, however not considered significant.

Slight damp staining was noted to the ceiling which is where we noted sanitary fittings above. Once it can be confirmed that the seals around the sanitary fittings above are sound, which consider that no further damp staining will occur at which time the damp stain can be stain blocked and decorated. In the unlikely event that further damp staining does occur, it will then be necessary to instruct a competent plumber to inspect the concealed pipework above and repair as necessary.



Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

Decorative cornicing has been installed to the walls. Localised board cracking was noted to the cornicing which is of no structural concern and requires filling prior to decoration.



Built-in wardrobes have been installed around the room which are modern and have been relatively well maintained.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The window is timber framed incorporating single glazing which was in a fair condition with no significant damage noted.

Timber shutters have been installed to the window which were noted to be fully operational at the time of inspection.

The room was heated by two modern pressed panel radiators with no corrosion noted.

Leading off the bedroom is an **En-suite bathroom**.



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The bathroom features decorative base units which are relatively modern having been well maintained.

The floor has been surfaced with granite tiles with no opening up of grouted joints or splitting of tiles noted.

The mastic seal around the edge of the shower cubicle is showing general deterioration requiring cutting out and renewing in order to prevent risk of damp staining to the ceilings below.

The sanitary fittings are modern and in a serviceable condition, however require cleaning down.

The plumbing beneath the sink and bath was inspected with no evidence of leaks noted.

Underfloor heating has been installed within the room however was not operating at the time of our inspection, therefore we cannot comment on its effectiveness.

The room is being heated by a towel rail which requires securing into position.

The joinery around the room is in a fair condition with only general wear and tear noted.

### **Main Dressing Room**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

Built-in wardrobes have been installed around the room which are modern and in a good and serviceable condition.



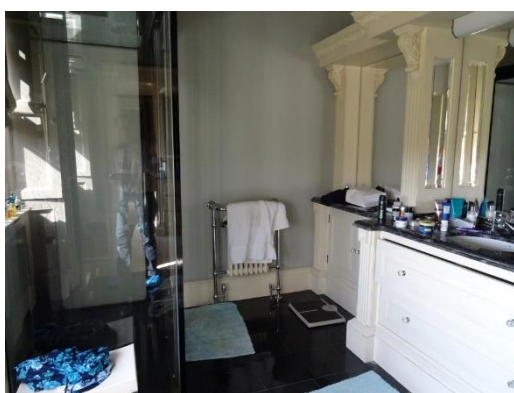
The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The window is timber framed incorporating single glazing, which is in fair condition, however would benefit from decoration.

Timber shutters have been installed to the window which were noted to be fully operational at the time of inspection.

Leading off the dressing is a **Shower Room**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

Decorative base units have been installed which are relatively modern with only general wear and tear noted.

The sanitary fittings are modern however are begrimed requiring cleaning down.

An enclosed prefabricated shower has been installed within the room which is in generally poor condition and we consider it would be more economical to replace rather than to repair.



The floor has been surfaced with ceramic tiles with no opening up of grouted joints or splitting of tiles with the floor feeling level and firm under foot.

The joinery around the room is in a fair condition with only general wear and tear noted.

The room is heated by a towel rail which was noted to be firmly secured into position.

The window is timber framed incorporating single glazing, which is in a fair condition, however would benefit from decoration.

Timber shutters have been installed to the window which were noted to be fully operational at the time of our inspection.

### **Bedroom Three**



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls. Slight cracking was noted to the ceiling where the plaster finishes have begun to de-bond due to age related wear and tear, however not considered significant and require filling prior to decoration.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet which was noted to slightly undulate under foot, however not considered significant.

The chimney breast is located within the room to correspond with that noted above and below. The chimney breast incorporates a granite and cast iron fireplace.

The underside of the chimney would benefit from being closed off in order to prevent debris collecting at the base of the fireplace.



The windows are timber framed incorporating single glazing which require general repair and decoration due to poor fitting frames which has allowed for water ingress.



The room is heated by a modern pressed metal radiator with no corrosion noted.

Leading off the bedroom is a **Dressing Room**



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt generally level and firm under foot.

Built-in wardrobes have been installed around the room which are relatively modern, however have been subject to wear and tear.

The window is timber framed incorporating single glazing, which was in a fair condition, however requires localised repair and decoration.



Under unit heaters have been installed within the room which are relatively dated however noted to be fully operational at the time of our inspection.

Leading off the bedroom is an **En-suite Bathroom**





The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

Built-in units which incorporate a bath and shower cubicle have been installed within the room are relatively tired requiring localised repairs and decoration.



Ceramic tiles have been installed to the back of the shower cubicle and to the floor with no opening up of grouted joints or splitting of tiles noted.

The mastic seal around the edge of the shower cubicle is in deteriorating condition, requiring cutting out and renewing.

The sanitary fittings are relatively modern however are heavily begrimed requiring cleaning down.

The bath incorporates water jets which we would advise are flushed through in order to prevent a risk of Legionnaires.

The plumbing beneath the sinks and WC was inspected with no evidence of leaks noted.

The floor has been surfaced with granite tiles with no opening up of grouted joints or splitting of tiles with the floor feeling level and firm under foot.

The chimney breast is located within the room to correspond with that noted above and below. The underside of the chimney is open therefore would benefit from being closed off in order to prevent debris collecting at the base of the chimney.

The chimney incorporates a cast iron fireplace which is in a serviceable condition and in keeping with the character of the property.

The window is timber framed incorporating single glazing, which is in a fair condition, however would benefit from decoration.

Adhesive mirrors have been applied to the windows in order to improve privacy. The application of the mirrors does however appear to be amateurish.



The room is heated by a pressed metal radiator with no corrosion noted.

An original doorway within the room has been blocked up which could be reopened up with relative ease if required.

## Store Room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The windows are timber framed incorporating single glazing which are in a fair condition with no significant damage noted.

The floor has been covered with plyboard which generally felt level and firm under foot.

The electrical consumer unit serving the main house is located within the store room. The consumer unit is relatively modern and incorporates modern circuit breakers and a residual current device.



## Washing Room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Ceramic tiles have been installed to the walls and floor with no opening up of the grouted joints or splitting of the tiles noted. The tiles are however relatively begrimed requiring cleaning down.

The utility features base units which are relatively makeshift, however are considered fit for purpose.



The window is timber framed incorporating single glazing which requires minor repair and decoration.





Where the plumbing for the white goods could be inspected, no evidence of leaks were noted.

The room is heated by a pressed panel metal radiator with minor corrosion noted requiring treating.



The joinery around the room is in a fair condition with only general wear and tear noted.

The ironmongery to the door giving access into the room requires repair.

## Ground Floor

### WC One



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

Ceramic tiles have been installed to the walls at low level and to the floor with no opening up of grouted joints or splitting of tiles noted.

The sanitary fittings are relatively modern, however require cleaning down.

The plumbing beneath the sinks was inspected with no evidence of leaks noted.

The room is heated by a pressed panel metal radiator with no corrosion noted.

The windows are timber framed incorporating single glazing which are in a fair condition with only general wear and tear noted. Localised damage was however noted to a single glass pane which will require replacement.



#### Front Hall



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

An arched downstand is located within the ceiling for support of the floor above. Slight hairline cracking was noted to the arch which is of no structural concern with the arch considered to be structurally sound.



A metal frame skylight incorporating single glazing is located within the ceiling, which is begrimed requiring cleaning down, however no damp staining was evident to the underside of the skylight to consider any failure of the flashings above. It should be noted that due to the extent of the single glazing, the skylight will be relatively inefficient, therefore consideration should be given to its upgrading.



Low wattage recessed lights have been installed within the ceiling and noted to be firmly secured into position.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been laid to flagstones and generally felt level and firm under foot.

The room is heated by pressed metal panel radiators with no significant corrosion noted.

## Main Hall



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Where arches are located within the ceiling no evidence of failure was noted.

The joinery around the room is in a fair condition with only general wear and tear noted. Repair is however required to the skirtings where services have been installed.



The floor has been surfaced with timber parquet which is in good condition with the floor feeling level and firm under foot.

Where the window incorporates low level glazing a safety film has been applied however the film has failed, therefore will require renewal.





### Snug



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been laid to flagstones and generally felt level and firm under foot.

The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates a substantial granite surround and cast iron fireplace which is in a serviceable condition in keeping with the character of the property.

A log burner has been installed within the fireplace. We would advise that your solicitor obtains all the necessary certificates in respect of this installation to confirm that it has been installed correctly.



The room is heated by pressed metal panel radiators with no corrosion noted.

The windows are timber framed incorporating single glazing which were in a fair condition with no significant damage noted.

### Kitchen



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been surfaced with engineered timber, which is slightly worn, however the floor felt level and firm under foot.

The kitchen features a range of base units and wall cabinets which are relatively modern, however have been subject to heavy wear and tear.

An Aga incorporating a gas burner is located within the room which was noted to be fully operational at the time of our inspection. Should the Aga not have been inspected in the last 12 months then we would advise that it is tested and inspected by a competent and qualified Gas Safe Registered Engineer.

The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates a granite surround with no significant damage noted.

A log burner has been installed within the fireplace which would benefit from being cleaned down. Again we would advise your solicitor all the necessary certificates in respect of its installation to confirm that it has been installed correctly.

The windows are timber framed incorporating single glazing which were in a fair condition however would benefit from decoration.

The windows incorporate low level glazing with no safety markings evident, therefore should you decide to keep the existing glazing we would advise that a safety film is applied.



Timber shutters have been installed to the windows which were noted to be fully operational at the time of inspection.

The plumbing beneath the porcelain sink was inspected with no evidence of leaks noted.

A mechanical extractor has been installed above the cooker hob which was noted to be fully operational at the time of our inspection.

## Orangery



The roof is aluminium frame incorporating double glazing with no evidence of leaks noted to consider any failure of the flashings or seals above.

The uPVC capping to the right hand rooflight was noted to be partially missing requiring replacement.



Tie bars have been installed to the roofs in order to prevent spread which have been successful.

The ceiling within the left hand orangery has been formed in stone with no cracking or deterioration of the stonework noted.





The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been surfaced with granite tiles with no opening up of grouted joints or splitting of tiles with the floor feeling level and firm under foot.

The windows are timber framed incorporating single glazing. No safety marks were noted to the glazing to confirm that the glazing is safety glass, therefore consideration should be given to applying a safety film. Where a safety film appears to have been applied to the doors, this has failed, therefore will require renewal.



The right hand wall has been formed in modern glazing which due to its age we consider is safety glass, however this should be confirmed by obtaining the necessary certification in respect of the glazing.



A timber door separating the orangery from the main house which is slightly tired requiring decoration however is considered serviceable.



Underfloor heating has been installed within the orangery however this was not operating at the time of our inspection therefore we cannot make comment on its effectiveness.

### Sitting Room



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has covered with a fully fitted carpet and felt level and firm under foot.

The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates an open cast iron fireplace with surround and stone hearth. Slight cracking was noted to the surround and hearth due to age related wear and tear however not considered significant.

Should the chimney not have been swept within the last 12 months, we would advise that the chimney is swept prior to further use.



The floor has been covered with a mixture of timber parquet and carpet and generally felt level and firm under foot.

The windows are timber framed incorporating full height single glazing which are in a fair condition however would benefit from decoration. A single pane within the patio door was noted to be damaged therefore will require replacing in the immediate term.



A safety mark was noted to the glazing therefore consideration should be given to applying a safety film.

Timber shutters have been installed to the windows which were noted to be fully operational at the time of our inspection.

The room is heated by cast iron radiators with no evidence of leaking joints noted.

## Boiler Room



At the time of our inspection we noted a slight gas odour and therefore we would advise that a test and inspection of the gas appliances are carried out in the immediate term to prevent risk of injury.

The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

a steel frame supports the chimney breast where the original fireplace has been removed which was noted to be structurally sound with no failure noted. We would however advise your solicitor obtains all the necessary Building Regulation approvals in respect of the removal of the chimney breast in this location to ensure that the steelwork has been correctly designed and signed off by Building Control

The floor has been laid to flagstone which is generally level and firm under foot.

The joinery around the room is generally tired and worn requiring decoration.

The fire alarm control panel is located within the room. The fire alarm system was not operating at the time of our inspection therefore we are unable to make comment on its effectiveness. We would however recommend it is tested and inspected if it has not been inspected in the last 12 months where it is possible that upgrading works will be required.





The heater and electric meter are located within the boiler house.

### **Boot Room**

The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

Boxing is located within the ceiling where we consider service pipes to be concealed. No damp staining was evident around the boxing to consider any failure of the concealed pipework.



The floor has been laid to flagstones which were relatively worn due to age related wear and tear, however not considered significant for the age of the property.

The room is heated by a cast iron radiator with no significant corrosion noted.

### **Dining room**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been surfaced with parquet which is relatively worn with localised damage noted therefore will require refurbishment.



The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates cast iron fireplace with decorative timber surround and stone hearth. Prior to further use of the fireplace, we would recommend that the chimney is swept should it not have been swept within the last 12 months.

Localised cracking was noted to the hearth as a result of general wear and tear, however no significant concern.



The window is timber framed incorporating full height single glazing which is in a fair condition however requires localised repair and decoration.

Localised damage was noted to a single pane which will require replacement.



The room is heated by cast iron radiators with no corrosion noted.

An under stairs cupboard is located to the rear of the hall.

The underside of the staircase is exposed which is noted to be structurally sound with no evidence of recent rot or infestation noted.



The floor has been formed with exposed brick which felt relatively level and firm under foot.

Where the plaster finishes have been hacked back, no significant damp was noted.



## WC Two



The walls and ceilings are plastered finished with emulsion to the ceiling and a mixture of emulsion and plain paper to the walls with no structural cracking noted.

Coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been formed in exposed timber boarding with no significant damage noted and generally felt level and firm under foot.

The sanitary fittings are relatively modern and are in a good and serviceable condition.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

There is no opening window light within the room therefore consideration should be given to installing a mechanical extraction in order to prevent condensation/odours building up.



## Study



The walls and ceilings are plastered finished with emulsion to the ceiling and plain paper to the walls with no structural cracking noted.

Mould coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

Library shelving has been installed within the room which is in good condition having been relatively well maintained.

The chimney breast is located within the room to correspond with that noted above. The chimney breast incorporates a cast iron fireplace with a granite surround and stone hearth. Localised corrosion was noted to the fireplace which will require treating in order to prevent the corrosion from progressing.



A log burner has been installed within the fireplace which is operating however we would advise your solicitor obtains all the necessary certificates in respect of its installation.

The window is timber framed incorporating full height single glazing which is in fair condition with only localised repairs and decoration required.

Timber shutters have been installed to the window which were noted to be fully operational at the time of our inspection.

### **Pet Room**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Low wattage recessed lights have been installed within the ceiling which were noted to be firmly secured into position.

Moulded coving has been installed around the wall ceiling junctions with no opening up of coving joints noted.

The joinery around the room is tired and worn requiring decoration.

The plumbing beneath the porcelain sink was inspected with no evidence of leaks noted.

The sink overflow has been taped suggesting that they require plumbing in.



The floor has been surfaced with ceramic tiles. Various tiles were noted to have split however not considered significant with the floor feeling level and firm under foot.

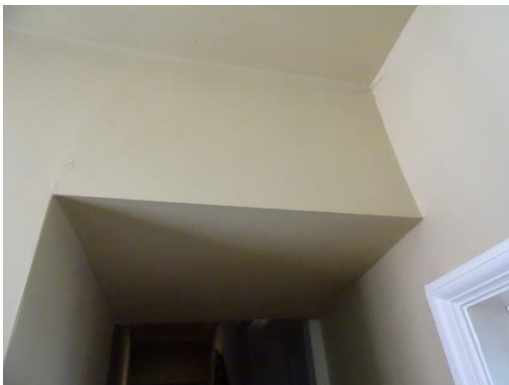
Built in store cupboards are located at high level with no defect noted.

A ladder gave access up to the store cupboards which were noted to be firmly secured into position.

#### Rear cloakroom



The walls and ceilings are plastered finished with emulsion. Slight cracking is evident within the rear wall which is of no structural concern but has simply occurred as a result of expansion and contraction of the support within the ceiling of the rear cloakroom.



Slight damp staining was noted to the underside of the hip where we consider wind driven rain to have entered beneath the lead. We would advise that the lead to the hip is re-dressed around the slates to prevent further water ingress and prevent further damp staining to the ceiling below.



The joinery around the room is tired and worn requiring decoration.

The floor has been laid to flagstones which are slightly worn due to age related wear and tear however the floor felt level and firm under foot.

The room is heated by a pressed panel metal radiator with no significant corrosion noted.

### Office



The walls and ceilings are plastered finished with emulsion. Slight cracking is evident above the window, which we consider to have occurred as a result of expansion and contraction of the concealed support and of no significant concern requiring filling prior to decoration.





Low wattage recessed lights have been installed within the ceiling being firmly secured into position.

The joinery around the room is relatively tired requiring decoration.

General repairs are required to the walls where fixtures and fittings have been removed.

A built-in store cupboard is located in the room with no defect noted.

The doors giving access into the store cupboard incorporate low level glazing with no safety markings evident, therefore we would advise that a safety film is applied.

The windows are timber framed incorporating single glazing which are in a fair condition therefore would benefit from decoration. It should be noted that the windows have been painted shut therefore will require easing.

### Swimming Pool



The ceiling has been formed in decorative stone with no significant cracking or deterioration of the stone work noted. Minor opening up of the stone joints was noted however not considered significant.



The main light switch has been damaged therefore will require replacing.



Stone pillars enclosed the pool area with no cracking or deterioration of the stonework noted.

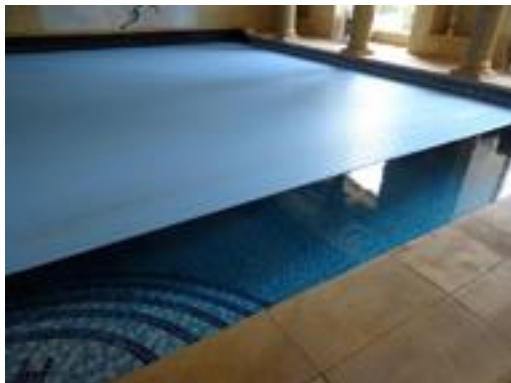


The walls are plastered finished with emulsion with no structural cracking noted.

The floor enclosing the pool has been surfaced with stone paviours which are relatively level feeling firm under foot.

The pool walls and floor have been surfaced with ceramic tiles which are in a good condition with no areas of missing tiles noted.

An automatic cover has been installed to the pool, was not operating at the time of our inspection therefore will require repair by a specialist contractor.



A brick chimney breast incorporating an original cast iron cooker and bread oven is located within the room with no significant deterioration of either the brickwork or the mortar pointing.

The windows and doors are timber framed incorporating full height double glazing which was in a fair condition with no breaking down of the double glazed units noted however they would benefit from decoration.



Safety markings were noted to the glazing to confirm that the glazing is safety glass.

Access chambers are located within the floor however due to their weight we were unable to lift these at the time of our inspection and are therefore unable to make comment on the filters.

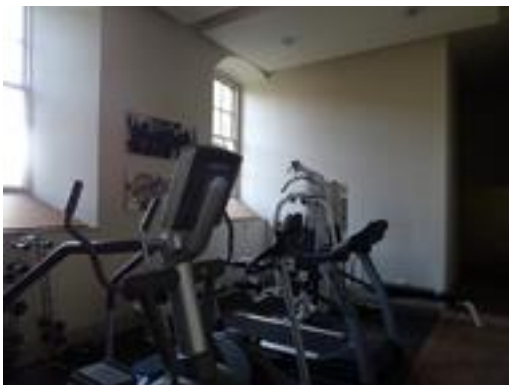


Decking has been laid within the rear of the room which is in good condition feeling level and firm under foot.



We noted no significant build-up of condensation around the pool area therefore we consider the extraction to be adequate.

### **Gymnasium**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.



Damp staining was noted to the ceiling. This is where we noted a valley gutter above which we consider to be blocked therefore we would advise that a competent roofing contractor is instructed to clear the valley damp stain and stain block and decorated.



The joinery around the room is in a fair condition with only general wear and tear noted.

The floor has been covered with vinyl which is in a serviceable condition with the floor feeling level and firm under foot.

The windows are timber framed incorporating double glazing and are relatively modern and in a good and serviceable condition with no breaking down of the double glazed units noted.

A consumer unit is located within the room and is relatively modern incorporating circuit breakers and a residual current device.



### Shower Room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

Exposed substantial timber joists are evident within the ceiling which was noted to be structurally sound with no deflection noted.



The sanitary fittings are modern and in good serviceable condition.

Ceramic tiles have been installed to the back of the sanitary fittings with no opening up of grout to joints or splitting of tiles noted.

The floor has been laid to flagstones which are relatively level feeling firm under foot.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

Built in store cupboards are located within the room with no defect noted.

## Spa



The ceiling is plastered finished with emulsion with no cracking noted.

The walls are plaster finished with emulsion and part fair faced brick with no structural cracking noted.

Substantial ceiling joists are exposed within the ceiling with no significant deflection noted.

The joinery around the room is in fair condition with only general wear and tear noted.

The floor has been laid to a mixture of stone paviours and brick which generally felt level and firm under foot with the exception of a ramp where the floor levels change.



A sauna and Turkish bath have been installed within the area which were not operating at the time of our inspection therefore we cannot comment on their effectiveness. We would advise that the sauna and Turkish bath are inspected by specialist contractors and serviced as necessary.

An open gulley is located within the Turkish bath which is in a serviceable condition and free of blockages at the time of our inspection.

The sauna area has been formed in timber panelling with no significant rot or infestation noted.

An under stairs cupboard is located within the room.

The underside of the staircase is exposed with no evidence of recent rot or infestation noted.

### **Kitchen Area**



The ceiling is plaster finished with emulsion with no cracking noted.

The ceiling beam is exposed and is noted to be structurally sound with no deflection noted.

The walls have been constructed in a mixture of brick and stone finished with emulsion with no structural cracking noted.

An arched opening is located within the central wall with no evidence of failure noted.



The floor has been formed in stone paviours and generally felt level and firm under foot.

Salts were evident to the walls at low level and to the floor due to raised damp levels however this is not considered significant with the area not forming a habitable part of the



property. Consideration should be given to increasing the passive ventilation within the room in order to prevent a build-up of musty odours.



It should be noted that any items that come into contact with the floor and walls may be prone to perishing.

The kitchen area features base units which are relatively modern with only minor wear and tear noted.

Ceramic tiles have been installed to the back of the worktop with no opening up of grout to joints or splitting of tiles noted.

The plumbing beneath the stainless steel sink was inspected with no evidence of leaks noted.

The windows and internal doors are timber framed incorporating single glazing and are in a fair condition but would benefit from decoration in the short term. A single pane within the window was noted to be damaged and therefore will require replacing.



An incoming water supply is located within the room. Where visible the incoming water supply has been formed in modern plastic. We would advise that you confirm with the current vendor whether this is the main stop cock or whether there are any further stop cocks around the property.



The thermostatic valve to the pressed metal panel radiator was noted to be damaged requiring repair.



### Plant Room



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

An original chimney breast is located in the rear of the room to correspond with that noted above. The underside of the chimney would benefit from being closed in order to prevent debris collecting in the base of the chimney breast.



The floor has been formed in brick. Slight perishing of various bricks was noted however this is not considered significant.

The pool is heated by a modern gas fired boiler which was noted to be fully operable at the time of our inspection with no defect noted to either the boiler or the associated pipework where evident.



Where the filtration pump and associated pipework could be inspected no evidence of leaks was noted.

The filtration system discharged into an open gulley which was noted to be clear of blockages at the time of our inspection.



The air extraction unit is located within the room and was noted to be fully operable at the time of our inspection.



The electrical consumer unit serving the pool and spa area is located within the room and is modern incorporating modern circuit breakers and residual current devices.



Amateurish alterations were noted to the electrical system within the room which we advise are inspected and made safe by a competent and qualified electrician in the immediate term.





The incoming water supply which we consider to serve the pool is located at low level. Where the incoming water supply could be inspected this has been formed in modern plastic.

Although we found no obvious defect with the pool plant it should be noted that it is specialist equipment therefore we would advise that it is inspected and serviced by a competent contractor to allow a full understanding of the required maintenance.

#### **First Floor above spa**



The walls and ceilings are plastered finished with emulsion with no structural cracking noted.

The substantial ceiling beams within the ceiling were exposed and noted to be structurally sound with no deflection noted.



The joinery around the room is in a fair condition with only general wear and tear noted.

There is an arched support to the masonry above the window with no evidence of failure noted.



The window incorporates low level glazing however safety markings were evident to the window to confirm that the glazing is of safety glass.

A timber staircase gave access up to the landing and was noted to have irregular height risers and therefore care should be taken to prevent risk of trips and falls until such time that the staircase is adjusted.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

#### **Roof Voids above Second Floor Flat**

The roofs are accessed by two timber hatches located within the landing ceiling.



The roof has been formed in traditional cut timber rafters and purlins with intermediary king trusses which were noted to be structurally sound with no significant structural defect noted.



The purlins have been supported on timber struts which bear down onto the load bearing walls and as a result no significant deflection was noted.

No damp staining was evident to the underside of the valley to consider any failure of the valleys above.



The underside of the roof covering has been lined with a breathable membrane with no rips or tears noted.

We noted no significant build-up of condensation within the roof void to suggest the ventilation is not adequate.

Where the chimneys could be inspected these were noted to be structurally sound with no recent damp staining evident around the head of the chimney to consider any failure of the flashings above.

Insulation has been installed within the roof void however this would benefit from being further updated.

A pressurised hot water cylinder is located within the roof void which we assume serves the flat below. The cylinder is modern with no evidence of leaks noted to either the cylinder or the associated pipework where evident.



A plastic cold water tank is located within the smaller roof void which is likely to be redundant however this should be confirmed by a competent plumber prior to its removal.

Previous condensation staining was noted to the purlins however we consider this to be historic and most likely it occurred prior to the re-covering of the roof. Should condensation persist then we would advise that ventilation is installed within the roof surfaces.



#### **Roof Void above Laundry**

The roof void above the main laundry is accessed via a timber hatch located within the laundry ceiling.

The roof has been formed in timber joists supporting a timber deck and was noted to be structurally sound with no deflection of the joists noted.

No damp staining was evident to the underside of the deck to consider any failure of the flat roof above.

The roof void would benefit from being insulated in order to reduce heat loss.





The flat roof above has been covered with felt with no deterioration or lifting of the felt noted.

Where the felt has been dressed into the parapet walls the felt has been dressed into the brickwork in accordance with good building practice.

A general build-up of moss was noted to the flat roof which we would advise is removed as part of the pro-active maintenance scheme for the property.



The parapet walls enclosing the flat roof are brick with a coping stone over and were noted to be structurally sound however would benefit from general maintenance in the form of removing the vegetation between the coping stone joints.

Minor perishing of the brickwork was noted however not considered significant.



### **Roof Void above Three Bedroom Living Space**

The roof void above the three bedroom living space is accessed via a timber hatch located within the landing ceiling.

The roof has been formed in traditional cut timber rafters and purlins supporting the coverings and was noted to be in satisfactory order for their age with no structural defect noted.

The original un cut timber purlins ran alongside the later purlins which confirms that the roof has previously been replaced.



The purlins are supported on substantial trusses which sit on brick piers and are noted to be structurally sound with no evidence of failure noted.



The underside of the roof covering has been lined with a breathable membrane with no rips or tears noted.

Part of an original chimney breast is unsupported within the roof void. We would advise that as support is installed beneath the brickwork in order to prevent risk of its collapse which may cause injury to persons below.



There is no insulation within the roof void therefore we would advise that this is uprated in order to reduce heat loss.

A significant build-up of mortar debris is evident within the roof void which we consider will have been the original tile torching which will have been removed at the time the roof was re-covered.



#### WC Leading off Servants' Staircase



The walls and ceilings are plastered finished with emulsion with no structural cracking noted. Slight de bonding of the plaster was noted to the left hand wall adjacent to the en

suite however this is of no significant concern and simply requires patch repairing prior to decoration.

The ceiling is plastered finished with a textured coating with no significant cracking noted.

The joinery around the room is in a fair condition with only general wear and tear noted.

The sanitary fittings are relatively modern however are begrimed and require cleaning down.

The sanitary furniture requires adjusting.



The window is timber framed incorporating single glazing and is in a fair condition with only general wear and tear noted. The window has been painted shut therefore will require easing.

The floor has been covered with a fully fitted carpet and felt level and firm under foot.

The plumbing beneath the sink and WC was inspected with no evidence of leaks noted.

We would advise that the light switch is re-located onto a pull cord switch or externally to the room in order to comply with current regulations and to improve safety.

#### **Roof Void above Rear Porch**

The roof void above the rear porch is accessed via a timber hatch located within the porch ceiling.

The roof has been formed in traditional cut timber rafters and purlins supporting the coverings. Where the rafters have been damaged by prolonged insect infestation these have been replaced with modern timbers. As a result the roof is structurally sound with no deflection of the rafters or purlins noted.





The underside of the roof covering has been lined with a modern breathable membrane with no rips or tears noted.

### **Other**

There is a CCTV installation around the property. This was not observed in operation at the time of our inspection and we must limit our reporting in this respect. We recommend the CCTV installation is inspected and serviced by a suitably qualified CCTV engineer shortly following purchase if servicing has not been carried out in the last 12 months.

In addition to the asbestos mentioned elsewhere in this report, properties of this age and type are likely to contain other asbestos based materials in one form or another. Again, according to the Institute for Environment and Health, the presence of asbestos would not normally constitute a health hazard unless the material, which contains the asbestos, is disturbed, drilled or substantially damaged. When maintenance work, building improvements or alterations are undertaken, you should therefore be mindful of the possibility of asbestos. If found, a licensed contractor will need to be employed for its removal and disposal.

We cannot comment on the satisfactory operation of any smoke alarms fitted. For safety reasons you should ensure that adequate alarms are installed and operating properly before occupation.

The property is fitted with an intruder alarm. An automatic cut out device must be in place. Your Legal Advisor should check for any service records.

The doors and windows were operated where unlocked and accessible. No significant issues were indicated generally though localised repairs were required and these have been detailed within the scope of our internal survey.

## 8. Services

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Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

### ***Electricity***

*Safety warning:* *The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy, therefore if no recent test certificate is available, we would advise that the electrical system is checked and tested by a suitably qualified NICEIC approved Electrical Engineer. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice contact the Electrical Safety Council.*

The property is indicated as connected to the mains electrical supply. The installation generally appears in a satisfactory order.

The main electric consumer units are located within the boiler house. Further consumer units are located around the property as detailed above.

Where visible the electrical system has been wired in modern uPVC covered cables with the distribution board fitted with modern circuit breakers and residual current devices. Although we found no obvious defects with the electrical system, we would advise that the electrical system is tested and inspected prior to exchange of contracts, where it is possible that upgrading works will be required.

Due to the size of the property we consider it is likely that the incoming electrical supply is three phase therefore a commercial electrician will be required to inspect the system.



### Gas/oil

*Safety warning: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' and in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice contact the Gas Safe Register for gas installations, and OFTEC for oil installations.*

A mains gas supply is connected to the property. Enquiries should be made with your solicitors to obtain the current gas test certification for the property. If this is not available, we recommend gas installations throughout the property are tested and inspected by a suitably qualified Gas Safe Registered Engineer.

### Water

The water is mains connected and supplied to various outlets (taps) under mains pressure which when tested, the pressure was considered adequate for a property of this type.

### Central Heating

The central heating serving the main house is provided by the gas fired floor standing boiler located within the boiler house. The boiler is relatively dated however was noted to be fully operable at the time of our inspection with no significant defect noted to either the boiler or the associated pipework where evident.



It should be noted that due to the size of the property, it is likely that the central heating system will require regular maintenance by an appropriately qualified engineer.

The central heating system serving the three bedroom flat is provided by a gas fired boiler located within the utility room. The boiler is relatively modern and was noted to be fully operable at the time of our inspection with no defect noted with the boiler or associated pipework where evident.



Where the pipework passes through the floor, localised repairs are required.

Consideration should be given to lagging the pipework in order to prevent condensation forming which may result in damp staining to the ceilings below.

### **Hot Water**

The main hot water is stored within two pressurised cylinders located within the boiler house. The cylinders are relatively modern with no evidence of leaks noted to either the cylinders or the associated pipework where evident.

Further cylinders are located around the property as detailed above.

The pressure valves were tested and noted to be fully operational at the time of our inspection.





The hot water is stored within a pressurised cylinder. Localised damage was noted to the head of the cylinder however this does not appear to have affected its integrity.

The pressure valves were tested and noted to be fully operational at the time of our inspection.



### Drainage

Without extensive exposure work we are unable to confirm the type or layout of the underground drainage system. The property is believed to be connected to a drainage system shared with the adjacent properties however this cannot be confirmed. Your solicitor should make the usual checks in respect of the drainage system.

Due to the extent of the underground drainage system we would advise that a CCTV survey of the drainage is carried out to confirm its condition and understand the maintenance required to ensure that it remains in full working order.

Various access chambers are located around the property however due to their weight we were unable to lift these at the time of our inspection.

In addition the equestrian facility, WC discharge is indicated to a septic tank, sewerage treatment plant or cesspit, though this could not be confirmed by type from our ground level visual inspection.

New drainage rules came into force on 1 January 2015. If your septic tank system was installed and in use before 31 December 2014, it is classed as an 'existing discharge'. If it was installed and in use after that date, it is classed as a 'new discharge'.

Rules for both existing and new septic tank discharges in England are as follows.

- Septic tanks settle the solids in the sewage and then discharge the liquid septic effluent to ground via a correctly designed and constructed drainage field - NOT a soakaway

pit, soakaway crates, tunnels or Ezy Drain. These are not allowed for sewage effluent dispersal.

- They cannot discharge into ditches, streams, canals, rivers, surface water drains or any other type of watercourse. Under the new Environment Agency General Binding Rules, if you have a septic tank that discharges directly to a surface water (ditch, stream, river etc.) you must replace or upgrade your septic tank treatment system to a full sewage treatment plant by 1 January 2020, or when you sell your property, if it is before this date.
- ALL septic tanks that currently ultimately discharge into watercourses will have to be either:
  - Replaced, using a sewage treatment plant with full BS EN 12566-3 Certification instead, or
  - The discharge to the watercourse stopped and diverted to a drainfield, designed and constructed to the current British Standard BS6297 2007

#### **Common services**

No common services are indicated.

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## 9. Grounds (external areas)

### Formal Gardens

#### Front External Areas

Our description to the external areas includes initially a description of the formal gardens and landscaping around the immediate environs serving the property. The wider landscape beyond are addressed in a general description toward the end of the external areas section.

Against the building to the centre and left the area is laid to gravel finishes. To the right this is laid to stone flagged finishes. There are stonework border details. These all generally appear in a satisfactory order.

Beyond the gardens revert to grassed, gravelled and planted finishes heading frontward through to the garden walling which is formed to left, front and right by brick pillars with low brick plinths, a pierced effect walling constructed using clay ridge tiling and capped with stone copings and cappings.



There are gravel pathways around the garden. These all generally appear in satisfactory order as do the inset metal gate sets to the areas beyond.

There are low ornamental tree growths within the garden.



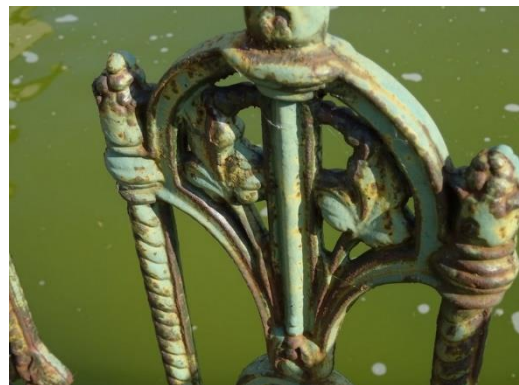


These do not appear to be adversely affecting the property or its foundations at the present time though have the potential to do so if left unchecked. We recommend these are managed and maintained to reduce future foundation movement risks.

To the central garden area there is an historic water feature indicated with a central fountain. The feature is enclosed by historic iron railed fencing. There is a highly decorative water feature inset to the centre.



These all generally appear in a satisfactory order though notably the fencing in particular is in need of redecoration which should be planned as a maintenance item. No apportionment is included in this respect.





The fountain basin presents a legionella risk and we refer you to our advices below in this respect.

Particular legionella risks are associated with aerated water use such as with the fountain in operation.



We refer to our advices below in this respect.

There is a pumped arrangement operating within the fountain basin to circulate water. This was confirmed in operation at the time of our inspection. We are not aware of any service arrangement for the pump installation and we recommend this is inspected and serviced by a suitably qualified engineer shortly following purchase if servicing has not been carried out within the last 12 months.

#### **Left-hand External Areas**



There is a stone flagged paved area alongside the property leading from front to rear. This generally appears in satisfactory order.

There is inset uplighting. This generally appears in satisfactory order.

To the front left corner there is a garden arrangement enclosed within low clipped Yew hedging. The garden has formally demarcated planting areas and is otherwise laid to stone finishes for pathways. These generally appear in a satisfactory order.

To the centre of this garden area is a brick and stone finished ornamental foundation basin with a multi-tiered fountain to the centre. This generally appears in a satisfactory order. This was not observed in operation at the time of our inspection and we must limit our reporting in this respect.



In line with our advices above we recommend the fountain pump system is inspected and serviced by a suitably qualified pump engineer shortly following purchase if servicing has not been carried out in the last 12 months.

We similarly again highlight the legionella risks.

To the centre and rear there are further formal garden arrangements together with a cupola topped folly installation with statue to the centre. The surrounding landscape is formed with gravel and flagged finishes with low clipped Box hedging flanked by pyramidal topiaried trees to front and rear.



These all generally appear in a satisfactory condition.

The cupola folly is in a reconstituted stone material with a metal dome indicated. The folly has concrete flags to the base. These all generally appear in a satisfactory order though

with some loose flags to the base and we have included provisional apportionment for release and rebedding locally.

The garden area is surrounded by clipped Yew hedging.

The flagged area adjacent to the building has various areas of flag work damage. It is unclear whether this relates to the vehicular use or impact damage. We have included provisional apportionment for flag work replacement locally in this respect.



Helicopter traffic was noted above the property at the time of survey. We recommend enquiries via your Solicitor to confirm the nature and extent of established/known flight paths above the property together with where available data on frequency and type of flights.



### Rear External Areas

There are concrete paving finishes across the rear of the building with a tarmacadam driveway beyond with later resin fixed chip finishes. These generally appear in a serviceable order. There is some cracking to paving locally and we have included provisional apportionment in line with our advices above for localised replacement.

The tarmacadam and resin chipped finishes will require some refinishing in future years. We recommend planning for refinishing within the next 5-10 years.

To the left there is a further flagged pathway leading through into the wider garden area.

The area is demarcated by low Yew and modern planted hedging. There are later hedges between this and the adjoining ownership.



There is a gate inset to the hedging and your Solicitor should clarify access arrangements, entitlements and obligations between the properties.



Your Solicitor should also confirm the precise boundary positions around the property together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.





There is a lamp standard within the area serving this and the adjoining ownership. Your Solicitor should confirm any shared arrangements, entitlements and obligations in this respect.



There are maturing and mature tree growths within the adjoining area. We recommend the seeking of undertakings via your Solicitor from the adjoining owners that these will be managed and maintained to reduce future foundation movement risks.



There are no indications that the tree growths were causing any significant structural risk or structural compromise at the time of survey.

There is similarly maturing tree growth within the planted areas alongside the driveway.



Again though not presenting any evidence of significant movement or structural compromise if left unchecked the tree growth does present future risks. We recommend this is managed and maintained to reduce future foundation movement risks.

Toward the right the boundary is indicated by a sinuous curved wall, largely obscured by planting growths.



Where visible to our inspection we found no obvious evidence of significant cracking or structural deformation though must limit our reporting where the walling is concealed by vegetation. We recommend the wall is inspected when the vegetation is next cut back or removed together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

In line with our advices above your Solicitor should confirm the precise boundary positions together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

### Right-hand External Areas



Against the building there is an area of stone flagged paving which generally appears in satisfactory order.

Beyond and to the right there are grassed finished, planted parterres, topiaried trees and gravel paving with metallised edging all contained within or demarcated by Yew hedging. These all generally appear in a satisfactory condition.

To the centre is a further water feature with a shallow reconstituted stone topped basin and central raised statuary. These all generally appear in a satisfactory order. We refer you to our advices above in respect of Legionella risks.

There is again a pumped water recirculation system and we recommend the installations are inspected and serviced by a suitably qualified pump engineer shortly following purchase if servicing has not been carried out within the last 12 months.

There are timber pergola arrangements. These generally appear in a satisfactory order.

Beyond and to the rear is the tarmacadam driveway with resin fixed chippings together with planted and grassed borders. These all generally appear in a satisfactory order.

The indicative boundary wall is in brick. This generally appears in satisfactory order though similar to the rear to significant areas toward its left are concealed by trailing vegetation.





Our reporting must be limited in this respect and we recommend the walling is inspected when the vegetation is next cut back or removed together with the completion of any necessary additional remedial repairs identified at that time. No apportionment is included in this respect.

The boundary walling features movement joint detailing at periodic intervals.



These generally appear in a satisfactory condition.

Alongside the walling are a series of statuary figures. These generally appear in a satisfactory condition.





### Wider Gardens and Surrounding Parklands

From the right the driveway continues through the property and out to the external gates at the limits of the site. The driveway is in tarmacadam finishes with resin bound stone chippings. This generally appears in a satisfactory condition.

Off the driveway adjacent to the formal gardens to the right there is an area of stone chipping type material referred to as clunch. This provides an area of off road car parking.



The area generally appears in serviceable order though with some weed growth establishing which should be managed at the earliest opportunity.

Between this and the drive is an area of grass finishes with low tree plantings. These generally appear in a satisfactory order. Inset to this grassed area is a columned frame support but with no cupola above. This is supported on a flagged base. The installation as a whole shows some lean toward the right. There were no indications of any significant compromise and this is indicated in satisfactory order.



Frontward of this position is a metal fountain installation. This generally appears in satisfactory order though in places with some rust emerging through the patination. We recommend as a maintenance item this is addressed to reduce future decay risks. No apportionment is included in this respect as a maintenance item.



Alongside the roadway to the right there are planted flowerbeds, an area of lawn and an immature Yew or similar hedging. This generally appears in satisfactory order.



This returns at the juncture between the wider garden landscape and the parkland landscape. To either side of the driveway at this position there are pedestal mounts with lions atop. The mounts are surrounded by Yew or similar hedging and our reporting is limited in this respect. Where visible to our inspection the mounts and lions generally appear in a satisfactory condition with no obvious or significant issue indicated.



To the left of the roadway there are further grass lawn areas with Yew or similar hedging and a modern low ha-ha type wall.



The wall generally appears in a satisfactory structural order with no obvious or significant issue or compromise. As a retaining wall Statutory Approvals would be anticipated required and we recommend enquiries via your Solicitor to confirm that all requisite Statutory Approvals were obtained for its construction, that all necessary building inspections were completed at the time of construction works and that all Statutory Approval conditions were complied with fully.

There are maturing and mature tree growths within the area. Of these there is a coniferous parkland specimen tree growth. This does not appear to be adversely affecting the property or its foundations at the time of survey though has the potential to do so if left unchecked and we recommend this is managed and maintained to reduce future foundation movement risks.



To the rear left corner of this area there is a tanked installation indicated providing pumping to the garden water features. This appears a modern installation and generally in a satisfactory condition and was confirmed operational at the time of our inspection.





We are not aware of any service arrangement for the installation and recommend this is inspected and serviced by a suitably qualified pump engineer shortly following purchase if servicing has not been carried out within the last 12 months.

Behind the ha-ha wall there is a shallow pit housing electrical switch gear.



The pit area generally appears in serviceable order though is not weathertight and we have included a provisional apportionment for improvements in this respect.

Alongside the ha-ha wall are external uplighter installations. There is some damage and we have included provisional apportionment in this respect.

To the front of this area there is a further lawned outer garden area with tree plantings within and alongside and low Yew hedging. This all generally appears in a satisfactory order.

To the right there is a further lion figurine. This generally appears in satisfactory order.





Beyond the house frontage and formal gardens to the centre there is a further lawned area again with tree plantings and Yew hedging.



This generally appears in satisfactory order.

Against the front formal gardens the area sits behind low walling with brick pillars and clay ridge tiling creating a pierced wall with reconstituted stone cappings and copings. To the centre of the walling there is a step arrangement with flanking walls and pillars. The pillars to the central area are topped with metal urns. These all generally appear in a satisfactory order.



The lower walling though presenting a low retaining wall is a historic construction anticipated pre-dating Statutory Approval requirements.

The upper walling construction date could not be confirmed though is a later addition. Your Solicitor should confirm the obtaining of all requisite statutory approvals, any requisite site inspections and compliance with all Statutory Approval conditions.



To the left of this position there is a further area of lawned garden landscape again with maturing tree growths and Yew or similar hedging to the front of the tennis court area.



The area again generally appears in a satisfactory order. The low ha-ha type wall is again a more modern construction and we reiterate our advices above for obtaining confirmation via your Solicitor that all requisite Statutory Approvals were obtained for its construction, that all building inspections were completed at the time of construction works and that all Statutory Approval conditions were complied with fully.





There is a mature specimen tree growth toward the front of this area. This generally appears in satisfactory order though no arboricultural assessment is included within the scope of this survey.



Behind the retaining walling there is an area similarly garden with planted finishes and low hedging together with maturing tree growths.



These generally appear in a satisfactory order.

The hedging to the left provides the indicative boundary. In line with our advice above we recommend enquiries via your Solicitor to confirm the precise boundary positions around the property together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

Running around the periphery of the wider garden areas is the tarmac driveway with resin bound stone chippings. This generally appears in satisfactory order.

There is street lighting alongside the driveway. This generally appears in satisfactory order though was not observed in operation at the time of our inspection and we must limit our reporting in this respect.

Alongside the driveway are sensors indicative of an automatic gate operating system.



Toward the roadway there are large metal gates inset between brick pillars. The brick pillars have reconstituted stone stylised pineapples atop. The gate set has a historic mechanical operating system indicated though this has been disconnected and was not operable.



There is similarly a keypad entry affixed to the right gate pillar on approach from the exterior. The disconnection of the mechanical gate operating system indicates this to be defunct and there is no requirement in this respect. The gates however were not able to be closed catching significantly on the driveway finishes. We have included provisional apportionment for the adjustment of the gate installation. The gate appears to indicate some movement within the brickwork finishes and we would anticipate a significant cost for reinstating manual gate operation. Our apportionment reflects this.





Otherwise the gate pillars and flanking walls generally appear in a satisfactory condition.

Beyond the gate set the driveway reverts to tarmacadam finishes leading out to the highway exit and a further mechanised gate set.



Ownership of the driveway is unclear and we recommend obtaining confirmation via your Solicitor of the precise property ownership together with access arrangements, entitlements, obligations and any maintenance and repair liabilities.

Alongside the driveway to the right on exiting is a water feature indicated as a balancing pond similar arrangement. This is suggested as serving the new development within the historic grounds.



Your Solicitor should confirm ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

There is a sign advising "Danger, deep water, Children should be supervised at all times", metal balustrade railings and a lifebuoy.





We highlight this as a safety risk.

Alongside the communal driveway section there is street lighting. This generally appears in satisfactory order though was not observed in operation at the time of our inspection. Your Solicitor should confirm rights, responsibilities and liabilities in this respect.

To the end of the internal driveway section there are brickwork flanking walls, reconstituted stone finished pillars and decorative reconstituted stone finials. These generally appear in a serviceable condition though with significant cracking noted to the reconstituted stone gate pillars.



Though the gate installation was operational some significant repair is indicated and we have included a provisional apportionment in this respect.

To the right on external approach there is a reconstituted stone pillar with the entry gate operating controls attached.



There is some movement of the pillar from its anticipated vertical constructional alignment.



Notwithstanding, this generally appears in serviceable order.

The gate set operates on a mechanised opening system. This was confirmed operational at the time of our inspection.

Beyond the driveway reverts to tarmacadam finishes through to the Public Highway with concrete kerb edgings and flanking walls, fencing and hedging. These all generally appear in a satisfactory condition.

Ownership of the external area access installation is unclear and we recommend enquiries via your Solicitor in this respect together with confirmation of any maintenance and repair liabilities.



No apportionment has been carried forward for the gate post repairs at this position at this time. Should your Solicitor confirm responsibility with this property the costs listed should be carried forward.

Our survey continues to the left of the property within the wider garden landscape to the area of the tennis courts and beyond.

The tennis courts are set within grassed and planted garden areas with Yew tree hedging to both left and right. There are flagged pathways into and around the area.



There is an inset water feature to the rear of the tennis pavilion. This has reconstituted stone balustrading around and above the water feature basin. This generally appears in satisfactory order.



No inspection of the basin itself was viable with a significant blanket weed coverage. Our reporting must be limited in this respect. We recommend the basin is inspected when the water feature is next emptied and cleared together with the completion of any necessary additional remedial repairs identified at that time.

To either side of the water feature there are coniferous tree plantings creating a colonnaded area. These generally appear in satisfactory order.

#### **Tennis Court**

The tennis courts have been surfaced with tarmacadam with no significant deterioration noted.

Metal fencing enclosed the tennis courts which requires a localised repair.



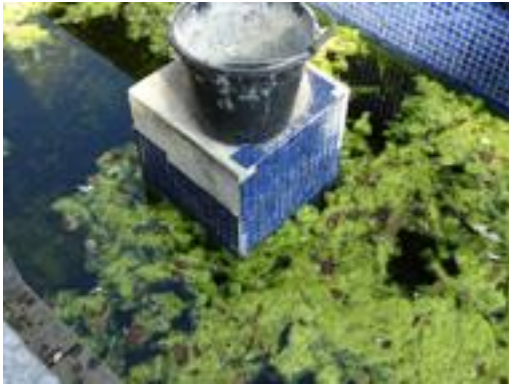
Concrete paving slabs have been laid adjacent to the tennis court which are relatively level however would benefit from general maintenance in the form of removing the vegetation between the joints.



High powered spotlights looked over the tennis court however these were not operating at the time of our inspection therefore we cannot comment on their effectiveness.

A water feature enclosed within decorative stone walls is located adjacent to the tennis court. The stone walls are in a fair condition with no significant damage noted.

The water feature walls have been surfaced with ceramic tiles which were undergoing repair at the time of our inspection. The water feature then requires a pro-active maintenance scheme in order to bring it up to full working order.



A redundant pump enclosed within brick walls is located adjacent to the tennis court house. The pump is likely to serve the water feature however was not operating at the time of our inspection.

### **Tennis Pavilion**



A timber bell tower with a copper cap has been installed to the head of the pyramid roof with no rot or infestation noted however it would benefit from decoration in the short term.



The main roof has been lined with lead with no splitting of the lead noted. The lead would however benefit from being cleaned down.



The elevations have been constructed in fair faced brick with no structural cracking or deformations noted.

A modern plastic damp proof course is evident at the base of the elevations which is clear and above the adjacent ground level.



The doors and windows are timber framed incorporating single glazing and are in poor condition with localised rot noted. Due to the poor condition of the doors and windows we consider it would be more economical to replace rather than to repair.



Proprietary steel lintels support the masonry above the openings with no significant corrosion noted.



### Tennis Court House Internal



The walls and ceilings are plastered finished with emulsion. Minor board cracking was noted to the ceiling which is of no structural concern.

Localised damp staining was noted to the ceiling where we consider rainwater to have entered through the bell tower in times of wind driven rain. We would advise that the weather proofing to the bell tower is improved with localised repairs then carried out to the ceiling as necessary.



The joinery around the room is tired and worn requiring decoration.

The floor has been surfaced with ceramic tiles with no opening up of grout to joints or splitting of tiles and the floor feeling level and firm under foot.

The consumer unit serving the tennis courts is located within boxing. The consumer unit is modern incorporating modern circuit breakers and a residual current device.



The door giving access into the consumer unit boxing has pulled away from its hinges requiring re-securing into position.

To the front of the tennis pavilion there is a low brick housing with a loose boarded timber top with a water pump installation inside.



The pump was not indicated as operational at the time of our inspection and we must limit our reporting in this respect.

The pump may serve the water feature previously described though this could not be confirmed.

To the rear of this area there is a series of cast columns straddling a historic walkway and a pergola arrangement or similar is indicated historically.



The columns generally appear in a serviceable order though in need of external redecoration which should be planned as a maintenance item.

Between the columns there are espalier cables. In places these require tightening or replacement and we have included provisional apportionment in this respect.

Inset to the path is a series of ground level uplighters. These generally appear in satisfactory order though were not observed in operation at the time of our inspection and we must limit our reporting in this respect.

There is a damaged fitting however to the left and we have included provisional apportionment in this respect.



Within the garden copse to the left there are significant mature tree growths. These generally appear in a satisfactory condition though notably no arboricultural assessment is included within the scope of this reporting.



Beyond and to the left the hedging provides the indicative boundary between this and the adjoining ownerships. Again your Solicitor should confirm the precise boundary positions together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

To the left the hedge boundary returns broadly parallel with the road with internal fencing. This generally appears in serviceable order though with some fencing repairs required and we have included a provisional apportionment in this respect.

The area again contains mature tree growths.



These should be managed and maintained to reduce future foundation movement risks though this time to adjoining newly built properties.

From this area there is a pathway leading through to the balancing pond/water feature described above. The pathway is in earth/loose gravel finishes and generally appears in serviceable order. Your Solicitor should confirm ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.





Notably the water feature at this position does not benefit from any balustrading or support railing alongside to limit falls into the installation and we highlight the safety risks associated.

To the front left corner of the wider garden landscape there is notably an access gate onto the adjoining ownership.



Your Solicitor should confirm access arrangements, entitlements and obligations in this respect.

Similarly there is a gate set toward the front and an adjoining garden is indicated. Your Solicitor should confirm access arrangements, entitlements and obligations in this respect.



The boundary at this point has tall brick walling which generally appears in satisfactory order with no obvious issue or works indicated. Beyond when heading rearward the boundary has timber panel fencing inset to concrete posts. These generally appear in a satisfactory order generally though with some repairs indicated necessary.



The fencing is indicated with the adjoining ownership and no apportionment has been included in our reporting in this respect.

Further rearward the boundary provision is formed by brick walling and this generally appears in a satisfactory condition though notably the properties beyond are indicated positioned at a lower level.



A retaining wall construction is indicated. Whilst there were no indications of significant structural compromise we would anticipate a requirement for Statutory Approvals for any retaining wall construction. The walling would appear to lie with the adjoining ownerships.

Further rearward the walling is indicated a more historic construction and generally appears in a serviceable order though with some historic deformations and decay.





Whilst there were no indications of significant structural compromise repair is required and we have included a provisional apportionment in this respect.

Notably the walling lies alongside an adjoining Public House premises and associated car parking. We recommend these works are planned to limit future injury risks and any associated claims which may arise.

Your Solicitor should confirm any known nuisance or anti-social behaviours associated with the adjoining commercial premises.

Beyond and to the rear the garden reverts to a lawned landscape around specimen trees.



These generally appear in a satisfactory order though notably arboricultural inspection is excluded from the scope of our inspection.

The garden historic walling continues alongside this area. Again there are areas of wall lean and some localised rebuilding and repair required.







We have included a provisional apportionment in this respect.

Externally the wall was inspected alongside the highway at this point.





The wall is compromised structurally to a significant extent and there is a significant risk of localised collapse and injury and/or damage caused to adjacent footpath and road users. We have included provisional apportionment for wall repairs. These include localised rebuilding reusing the existing materials where practicable.

We recommend this work is prioritised to reduce public safety risks. We would anticipate a localised lane closure being necessary during careful down taking of the materials at a minimum.

To the rear left corner the garden continues the grassed landscape with specimen trees. These continue up to the adjoining ownership with a shallow gravelled margin against the building and across its rear. There is a gate set from the adjoining ownership onto this area.

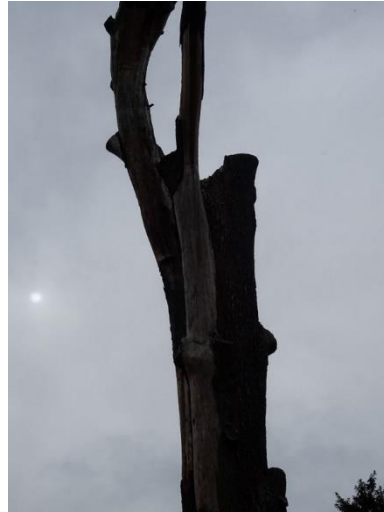


In line with our advice above your Solicitor should confirm the precise boundary positions around the property together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

The garden section is boundaried by established Yew hedging.



The mature specimen tree growths both lopped and non-lopped generally appear in a satisfactory order though again arboricultural inspection is excluded from the scope of our survey. We are however mindful of that nearest to the property with significant bark stripping and similar evidence of decay.



We recommend arboricultural inspection of this particular tree specimen.

Access through the area is across concrete flagged paving and this generally appears in serviceable order.

Our survey to the garden landscape to this side of the property terminates against the adjoining gardens to the rear of the property.

The survey continues beyond the garden landscape to the **parkland landscape** to the right to the orchard area.

The orchard contains a number of apple, pear and damson tree growths. These generally appear in a satisfactory order though with one over toppled pear tree.



This falls beyond the scope of our building survey and is mentioned for reference purposes only.

The area is boundaried by low fencing and maturing hedging. These generally appear in a satisfactory order.

The fencing provides an indicative boundary position and in line with our advice above we recommend enquiries with your Solicitor to confirm the precise boundary positions together with ownership, access arrangements, entitlements, obligations and any maintenance and repair liabilities.

Beyond the hedging to the right is an area used for the disposal of garden and other waste. This generally appears in serviceable order.



Further right is a fenced paddock with hedging to the front. Localised fencing repair is required and we have included provisional apportionment in this respect.

To the front of this are the equestrian buildings with the property.

#### **Equine area/Stables**



The roofs are pitched and gabled and covered with felt shingles. The roofs require general overhaul in the form of replacing the shingles where they were noted to be missing.





The roof above the separate stable within the field has deflected therefore will require strengthening in order to prevent risk of its future collapse.



The gutters and downwater pipes are uPVC which require general overhaul in the form of re-connecting the downwater pipes to the gutters and renewal of the failed seals.



The elevations have been formed in feather edged board. Minor localised damage was noted to the boarding in various locations due to normal age related wear and tear. We would advise that the damaged boards are replaced as part of the ongoing pro-active maintenance scheme for the stables.



Exposed brickwork is evident at the base of the stables with no deterioration of either the brickwork or the mortar pointing noted.

The stable doors and windows are considered fit for purpose providing adequate security.



The electrical sockets around the stable areas have begun to corrode therefore will require replacement.



Where fresh water pipes were evident these have been adequately lagged in order to prevent their failure in the winter months.



Surface mounted electric cables are evident around the stables which at low level have been ducted to comply with current regulations of health and safety.



Security bars have been installed to the inside of the windows and are noted to be firmly secured into position.

The sanitary fittings are relatively modern however heavily begrimed requiring cleaning down.



The walls and floor within the WC area have been surfaced with ceramic tiles with no opening up of grout to joints or splitting of tiles noted. The tiles to the ceiling are however begrimed requiring cleaning down.



The stable areas have been laid to concrete hard standing with no significant cracking or deterioration of the concrete noted.

The hard standing fell towards open gullies which were noted to be blocked at the time of our inspection requiring clearing in the immediate term.



The ménage has been surfaced with rubber chippings and requires general maintenance in the form of removing the vegetation.



The ménage has been enclosed within timber railed fencing which is noted to be damaged in various locations requiring localised repairs in the immediate term.





A timber farm gate gave access into the stable areas and is at the end of its serviceable life therefore will require replacement in the short term.



#### Indoor Area



The walls and ceilings are plastered finished with emulsion. Localised damage was noted to the plaster finishes in various locations which will require patch repairing.



The joinery around the room is in poor condition requiring replacement of the skirting.



The floor has been surfaced with ceramic tiles with no opening up of grout to joints or splitting of tiles with the floor feeling level and firm under foot.

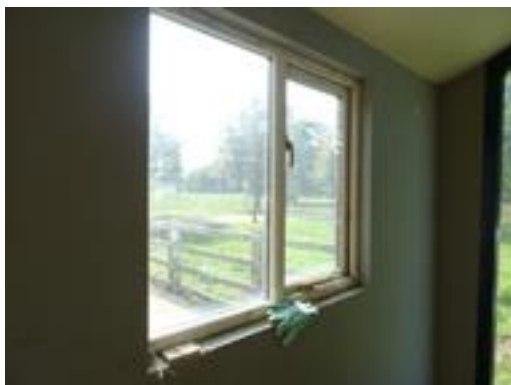
The kitchen area features base units which are heavily tired therefore would benefit from being replaced.



The gable window and door is aluminium framed incorporating full height glazing which is considered fit for purpose however requires cleaning down.

No safety markings were noted to the full height glazing to confirm that the glazing is safety glass.

The main windows are timber framed incorporating a mixture of single and double glazing and they require overhaul to include replacement of the hinges and decoration.



A timber door gave access into the kitchen area and provides adequate security. A localised repair has however been carried out to the base of the door where we consider rot to have occurred.



The paddock areas beyond the equestrian buildings could not be inspected with no access available due to grazing horses. We recommend these areas together with fencing are inspected when access is next readily available together with the completion of any necessary additional remedial repairs identified at that time.

To the right of the stabling and within the adjoining paddock there is a service lid indicative of a septic tank, cess pit, sewerage treatment plant or similar arrangement. No intrusive inspection was completed within the scope of this survey and our reporting must be limited in this respect.

To the front right and within the wider parkland landscape there is an enclosed paddock containing a small deer herd. The area is bounded by a combination of timber fencing with wire mesh and parkland stock fencing. These generally appear in a satisfactory order.



There is a central columned cupola frame but with no domed roof. This generally appears in satisfactory order though no close quarters inspection could be completed with several deer within the enclosure and with the onset of the rutting season. Our reporting must be limited in this respect. We recommend the installation is inspected when safe access can next be obtained together with the completion of any necessary additional remedial repairs identified at that time.



There is a tarmacadam driveway with resin bound chippings providing access between the stabling and main house drive. Alongside there is a maturing tree lined avenue. These generally appear in satisfactory order.

Beyond and toward the rear right there is an area of heathland style grassed finishes with mown swathe walkways. This generally appears in satisfactory order. Inset to this area there is a mature specimen parkland tree growth. This generally appears in satisfactory order though again no arboricultural appraisal is included within the scope of our reporting.





## 10. Matters for legal advisers' attention

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### Building regulations

Notifiable works to the property are indicated in the:

- Adaptation/incorporation of the porte-cochere within the domestic accommodation,
- addition of the orangery,
- front left single storey extension,
- replacement of door and window installations,
- internal pool construction,
- creation of ha-ha/retaining walls,
- building above ha-ha wall around formal gardens to front,
- equestrian facilities,
- use of cementitious render if this shown following solicitors enquiries
- heating and hot water systems
- high level roof atria
- garden water features
- tennis court and pavilion
- the adaptation of roof void spaces to create the current second floor accommodation
- internal chimney removal

Our survey is a non-intrusive residential building survey for property purchase and/or transfer. Our survey does not include any snagging inspection, intrusive inspection or design checks. No warranty or certification is provided or implied by our reporting. Your legal advisers should check that:

- all the relevant local authority notifications and approvals for the works have been issued and obtained where needed
- all statutory inspections have been made during the course of the works
- all works have been completed in accordance with statutory approvals and any conditions attached
- all relevant professional/consultants certificates, collateral warranties and commissioning certifications are in place.

If regulations have been breached or work carried out without, or not in accordance with, the necessary approvals then extensive and costly alteration works may well be needed to ensure compliance.

The building will not satisfy a variety of contemporary standards of construction and performance criteria set out in the current Building Regulations such as, for example, thermal insulation. This statement is true of the vast majority of buildings in the UK.

The statute under which the Building Regulations are made in the UK is the Building Act 1984. Neither this Act, nor the Regulations themselves are applicable retrospectively. This avoids the need for constant improvement of properties to satisfy current standards.

### Planning permission

We have not been requested to investigate and set out in detail the planning history of this property. We have not been provided with any Planning documents on which to comment. Consequently, from our inspection, we cannot comment on the existence or otherwise of any infringements of any Planning Consents or conditions attached to such Consents.

We assume that this matter will be considered by solicitors.

The property indicates that equestrian facilities may be providing business premises. We have recommended obtaining confirmation via your Solicitor that all requisite Statutory Approvals and licences have been obtained for any business use. In the event that business use is legitimately been carried out from the property we recommend obtaining confirmation via your Solicitor of all associated business rates and costs.

The property is indicated within the particulars including self-contained apartments accessed from within the building. We have recommended obtaining confirmation via your Solicitor that all requisite Statutory Approvals, certificates and licences have been obtained for any such use. In the event that the use is legitimately been carried out from the property we recommend obtaining confirmation via your Solicitor of all associated additional rates, costs and charges.

No advices have been received in terms of future use/planned changes within our briefing.

### Heritage Consents

In addition to planning and building regulation approvals, the property is advised listed at Grade 1 on the Statutory List of Buildings of Historic and Architectural Interest.

The List Description follows:

*Large country house. Rebuilt c.1720 by Sir Thomas Parkyns of Bunny Hall to his own designs, late C18 south front, east entrance front begun early C19, but still not complete late C19. Red brick, some blue brick, render, ashlar dressings. Slate roof. North front by Sir Thomas Parkyns of red brick stretchers and blue brick headers. Set on a chamfered ashlar plinth. 3 storeys, the top storey being a large semi-circular pediment supported at the angles by single ashlar Ionic pilasters which are surmounted by single arched ashlar niches. The pediment with blue brick diapering has an ashlar band and corbel table separating it from the floor below. Over is a 2 stage belvedere with wide embattlements and wrought iron*

railings extending between. Chamfered ashlar quoins to the front and flush ashlar quoins to the rear. 5 bays. Projecting from the single second left and second right bays are 2 large buttresses with ashlar faces, quoins and bands. Ground floor of each buttress has a single pointed blind arch with brick infill, impost blocks and keystone. The keystone supports 2 projecting ashlar blocks with inscription extending over. The right side of the right buttress has a single arched recess. Between the 2 buttresses is a single storey lean-to with slate roof and single glazing bar sash. In the single far left bay is a single storey, single projecting bay with hipped slate roof and single casement. In the single far right bay is a single recessed blind panel with segmental arched ashlar surround and keystone, the panel now with doorway. Above is a single central similar panel now with glazing bar fixed light. The buttresses each have single arched recesses and are stepped over. To the right and left are single similar panels, but under round arched heads. The central 3 bays of the pediment project, having single central large ashlar achievement of arms flanked by chamfered quoins and ashlar strips. The tower above has a single blank square brick panel with ashlar surround containing a single central round recessed panel also with ashlar surround. Over is a single round arched recessed panel with ashlar surround and keystone. The left and right sides each have a single similarly arched panel to each stage with further ashlar decorations. The rear of 3 stages has a single casement in similarly arched surround with large sundial over with ashlar surround and cornice and single similarly arched casement above. West front by Sir Thomas Parkyns. Red brick stretchers, blue brick headers. 2 storeys, 5 bays, the left single bay being 3 storeys with chamfered ashlar quoins to the top floor. Remainder with ashlar parapet, under, and extending across the 3 storey bay, is a single ashlar band supported on ashlar corbel table. Flanking this front are single ashlar Ionic pilasters, that on the left surmounted by a single arched ashlar niche. That on the right with chamfered ashlar quoins and arched brick niche to base. Low chamfered plinth. 3 low glazing bar casements in segmental arched ashlar surrounds with keystones, to the right is a single similar opening now part blocked with doorway with part glazed door and single glazing bar casement above with ashlar sill. On the far right is a single blocked segmental arched doorway. Above are 4 large glazing bar casements under round arched heads with ashlar surrounds and keystones. There is a single central small glazing bar casement. The top floor has a single small glazing bar casement in similar segmental arched ashlar surround. The narrow right wall of this front with single stack and similar parapet and corbel table has a single blind ashlar oeil de boeuf. To the right of the west front, set back, is a render over red brick wing. The ashlar coped parapet has an ashlar band extending under and rising from the parapet are 2 stacks, that on the right with 3 octagonal ashlar shafts. Two and a half storeys, 2 bays. Single casement, to the right under a hipped roof is a single storey single projecting bay with single tripartite glazing bar casement. Above is a single tripartite glazing bar casement and to the right a single smaller glazing bar casement. On the top floor are 2 small glazing bar casements. South front of render over red brick with ashlar dressings has an ashlar coped parapet with an ashlar band extending under. 3 ashlar



*stacks 2 with 4 shafts, the third with single shaft. Set on a plinth. First and second floor bands. Two and a half storeys, 6 bays. The second, third and fourth bays from the right are slightly set back. The 2 left and single right bays are gabled, the right single bay with 2 storey canted bay. All openings apart from those of the canted bay with eared ashlar architraves. Under first and second floor windows are raised blind panels. All windows with casements. Apex of each gabled bay has single blind arrow loop. East/entrance front with C19 open porte cochere with rusticated piers, cornice and parapet with blind raised panels. Inner doorway with double door, glazing bar marginal lights and overlights. Rear of Thomas Parkyns wing with single similar Ionic pilaster to right angle with arched ashlar niche over. Chamfered ashlar quoins to the left corner of single right bay and similar ashlar band and corbel table. This bay having sloping ashlar coped parapet. 4 glazing bar sashes in segmental arched ashlar surrounds with keystones. To the left are further openings, to the right of the pilaster is a single storey single bay wing with doorway. Above are 4 glazing bar casements in similar round arched surrounds. The left 3 bays are set back. To the left are further openings including a Venetian stair light. Interior partially inspected, has, at the south west corner on the first floor, 3 rooms with ex-situ late C17 or early C18 bolection moulded panelling covering most of the walls. South front with C19 fireplaces to ground floor rooms. Former list records reproduction CI? staircase, this not inspected.*

Listed Building Status necessitates the obtaining of statutory consents for either planned or previously completed works. We recommend obtaining confirmation via your Solicitor that all necessary heritage consents have been obtained for previously completed works, and that all works have been completed in accordance with approved details/drawings and any conditions contained within those heritage consents.

Particular works to which we would direct your Solicitors enquiries would include:

- Adaptation/incorporation of the porte-cochere within the domestic accommodation,
- addition of the orangery,
- front left single storey extension,
- replacement of door and window installations,
- internal pool construction,
- creation of ha-ha/retaining walls,
- building above ha-ha wall around formal gardens to front,
- equestrian facilities,
- use of cementitious render if this shown following solicitors enquiries
- heating and hot water systems
- high level roof atria
- garden water features
- tennis court and pavilion

- the adaptation of roof void spaces to create the current second floor accommodation
- internal chimney removal

This list is not intended to provide a complete list of works completed to the property, but includes those works identified at the time of our survey, which might reasonably be expected to require the obtaining of consents.

Our advices are based on the following understanding of the heritage consent regimes:

- Listed building consent is required for 'any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest'. In addition, Listed Building Consent may be required for works to ancillary buildings, objects or structures within the curtilage of a listed building, which affect the special character of the listed building (commonly referred to as curtilage listing).
- Planning (Conservation Area) Consent is required for the demolition of an unlisted building within a designated Conservation Area. This consent is now addressed under Planning Consent controls.

Your Solicitor should advise fully on any other heritage designations and/or protections which may affect the property in whole or in part, including: Areas of Outstanding Natural Beauty, National Parks, Archaeological Areas, Registered Battlefields, Registered Parks and Gardens, and World Heritage Sites, together with any non-designated locally listed buildings or sites, and any associated Article 4 Directions which might restrict permitted development rights.

Development/change is regulated through Planning controls. We recommend obtaining confirmation via your Solicitor that all necessary heritage consents have been obtained for previously completed works, and that all works have been completed in accordance with any conditions contained within those consents and any conditions imposed.

The scope of works falling within the controls imposed by Heritage designations and protections have notably changed over time and checks should be made against requirements at specific dates correlating with periods of development to the property. Your Solicitor should advise you of additional liabilities attached for unauthorised works to heritage properties, including for those works completed by previous owners. Your Solicitors should advise on the taking out of indemnity insurances, though we would highlight that these are a cover for the costs of legal actions and remedial works rather than an indemnity at law for any offence created and/or any prosecution/enforcement action proceedings.

### Chancel repair liability

Chancel repair liability is a historic common law financial obligation on land/property currently or formerly forming part of Rectorial or Glebe lands under church ownership, for the repair of a Church Chancel. The liability passes with the land/property and can continue to the present day. Some parishes historically sold land free of such liabilities and not all entitled parishes choose to exercise their rights to pursue the liability. A property can be bought out of the liability under the Ecclesiastical Dilapidations Measure 1923 though this is expensive and complicated, thus little used.

The existence of any chancel repair liability, may affect the property value. We recommend your Solicitor conduct 'Chancel Checks', prior to any commitment to purchase, to check for any Chancel Repair Liability registered against the land/property. If Chancel Repair Liability is established, we recommend the taking out of Chancel Repair Insurance to provide cover against all legal expenses and any cost of repairs which may be claimed. Your Solicitor should advise you fully in this respect.

### Statutory

- Confirm all Statutory Approvals for all alteration and construction work. Obtain copies of all Approved Plans for any alterations or extensions to the property.
- Any rights or responsibilities for the maintenance and upkeep of jointly used services including drainage, gutters, down pipes and chimneys should be established.
- The right for you to enter adjacent property to maintain any structure situated on or near the boundary and any similar rights your neighbour may have to enter on to your property.
- Any responsibilities to maintain access roads and driveways, which may not be adopted by the Local Authority, should be established.
- Obtain any certificates or guarantees, accompanying reports and plans for damp-proof course and timber treatment, which may have been carried out in the property.
- Investigate if any fire, public health or other requirements or regulations are satisfied and that up to date certificates are available.
- Investigate any proposed use of adjoining land and clarify the likelihood of any future type of development, which could adversely affect this property.
- Where there are trees in the adjacent gardens, which are growing sufficiently close to the property to cause possible damage, we would suggest that the owners are notified of the situation.
- Whilst there were clearly defined physical boundaries to the site, these may not necessarily lie on the legal boundaries. These matters should be checked through your Solicitors.
- You should obtain all guarantees relevant to the property, including matters such as replacement glazing, damp-proof course, etc. The guarantees should be formally

assigned to you and preferably indemnified against eventualities such as contractors going out of business.

- The tenure is assumed to be Freehold, or Long Leasehold subject to nil or nominal Chief or Ground Rent. Your legal adviser should confirm all details.
- Confirmation should be obtained that all mains services are indeed connected.
- Confirmation should be obtained by the provision of service documentation, of when the electric and gas installations were last tested.

### **Mining**

Mining activity is known across the UK, historically and in more modern times. Mining activities are notably not limited to modern deep coal mining. Historic mineral mining, shallow coal mining and surface mining activities are known across the UK to most areas, though sometimes poorly recorded. Mining continues in various locations across the UK. For the vast majority of properties this does not represent any significant problem. To those properties affected, it can however create significant physical, financial and legal liabilities, which can adversely affect the sale value of property and land, and even its saleability.

We have not carried out any due diligence survey/analysis, or specific searches, all of which fall beyond the scope of our survey. We recommend the completion of a mining and subsidence appraisal prior to any commitment to purchase to assess, manage and resolve your future financial risks. Your Solicitor should advise you further in this respect. Falling outside the scope of this report, no apportionment is included in this respect.

### **Rights of Way, Easements, Shared Services, etc.**

Your legal adviser should check:

- Boundary positions, ownerships, access arrangements, entitlements, obligations and any maintenance and repair liabilities.
- Access arrangements, entitlements, obligations and any maintenance and repair liabilities for the shared driveway/entry gate, and balancing pond/drainage feature.
- Drainage rights, entitlements and obligations.
- Given the age of the property any water abstraction rights, licencing and limits.
- Arrangements for private services, septic tank registration etc.
- Other property rights including rights of light, restrictions to occupation, tenancies, vacant possession, easements, wayleaves and covenants.

Your Solicitors should confirm any public and/or private rights of way passing through or extending alongside the property, together with the legal nature and physical extent of private access roads and footpaths, verges and common lands where these abut or form part of the property ownership. Your Solicitor should advise on ownership, access



arrangements, liabilities, entitlements and obligations, and any covenants and/or agreements in place.

There were no indications of trespass, waste dumping, or other associated nuisance issues. We recommend enquiries via your Solicitor to confirm the nature and extent of any known/reported issues.

The physical boundaries to the site were generally clearly defined. These may not necessarily lie on the legal boundaries. Your Solicitors should confirm the position and extent of the legal boundaries together with ownership, access arrangements, entitlements and obligations, including any covenants and/or agreements in place, and any particular any requirements relating to Party walls or shared structures.

Your Solicitor should advise fully on any easements (including rights of light), wayleaves, covenants, servitudes or security interest over this property or serving this property.

Your Solicitors should advise fully on vacant possession, any restrictions to occupation, and any tenancies or other similar legal arrangements.

### **Private Services**

It is unclear whether the property is served by any private water supply though given its age and size this is possible. If this is shown to be the case following your Solicitors enquiries, your Solicitor should confirm abstraction rights, obligations and entitlements, including:

- The currency and lifespan of licensing arrangements and agreements, together with limits on abstraction for potable water, animal husbandry and irrigation purposes.
- The nature of the well construction where known, date of construction and any residual warranties and/or certifications, and well pump arrangements, including servicing arrangements.
- Arrangements for water quality management, treatment, monitoring, testing, sampling and analysis, and contamination/pollution controls, including any service arrangements.

There is a lightning conductor system together with trailing tapes across the building. These generally appear in satisfactory order although no testing or inspection is included within the scope of this reporting. We recommend the lightning conductor protection system is inspected shortly following purchase if this has not been completed within the last twelve months. We highlight this may be a requirement of respective insurers.

We did not note any obvious or significant evidence of the existence of any protected species around the property, though ecological advices notably fall beyond the scope of the building survey. Protected species include animals, birds, flora, amphibians and reptiles included in statutory lists of protected species. We have not carried out a thorough inspection of the property for protected species, ecological due diligence survey, or environmental searches, all of which fall beyond the scope of our survey.

Whilst not generally detrimental to the residential use of a building, the presence of protected species can limit the nature, scale and timing of alterations, repairs or development proposals, and can entail additional costs for mitigation or compensation works to address the needs of protected species affected.

For this reason, during our inspection we looked for any obvious visual indications of readily identifiable protected species. None were indicated to accessible areas within the scope of this Building Survey. No inspection was completed beyond the site limits.

We recommend the completion of conveyancing and environmental searches by your Solicitor.

Beyond this, protected species survey and legislative advices are the specialist area of the Professional Ecologist. If protected species are something that you are particularly sensitive to, or may affect your proposals for the property, further independent professional investigations and specific risk assessment are recommended by a suitably qualified and experienced Professional Ecologist. Falling outside the scope of this report, no apportionment is included in this respect.

### **Guarantees/Warranties**

Where work has been carried out to the property previously, it is recommended that guarantees be obtained prior to a legal commitment to purchase. These should ideally be indemnified against eventualities such as the contractors going out of business, and should cover workmanship as well as materials. Confirmation should be obtained as to the residue of the guarantee and that a transfer will occur upon change in ownership.

Legal enquiries should be made to confirm if any testing of the electrical, gas and heating appliances have been undertaken, with any testing of service records being obtained prior to a legal commitment to purchase.

### **Thermal Insulation and Energy Efficiency**

As part of the marketing process current regulations require the provision of an Energy Performance Certificate. The EPC is dated 2009 and has expired. Legal enquiries are advised to confirm that such a Certificate has been obtained. This document provides the usual information regarding advice on energy efficiency and thermal improvement, which will assist in potentially reducing heating expenditure.

Care should be taken with historic buildings in the application of any modern treatments and finishes recommended to avoid compromise or damage to the historic fabric or the entrapment of moisture which can lead to decay. Additional costs may be entailed in the use of alternative materials. Where buildings have conservation protections, the local authority building conservation officer should be consulted and all requisite consents should be obtained prior to any works.

From 1 April 2018, under the Minimum Energy Efficiency Standards (MEES) 2015, it became illegal to start a new tenancy lease on a residential property with an F or G rating on an Energy Performance Certificate. The regulations extend to all leased residential properties with a valid EPC, regardless of when the tenancy started, from 1 April 2020. This report does not provide extended advice on Minimum Energy Efficiency Standards (MEES) Regulations (2015) and is not designed to be used as evidence for the PRS Exemption Register. The responsibility for complying with MEES is allocated to the landlord and/or owner of the property.

#### **Photovoltaic Installation**

No photovoltaic installations were identified to the property.

#### **Additional matters for the legal advisor's attention**

- The obtaining of FENSA or Building Regulation certification for any door and window installations after 2002.
-


## 11. Environmental hazards

We indicate below our findings and advice regarding certain issues of an environmental nature. The issues identified below should not be considered an exhaustive list of matters to be considered.

### Flooding risk

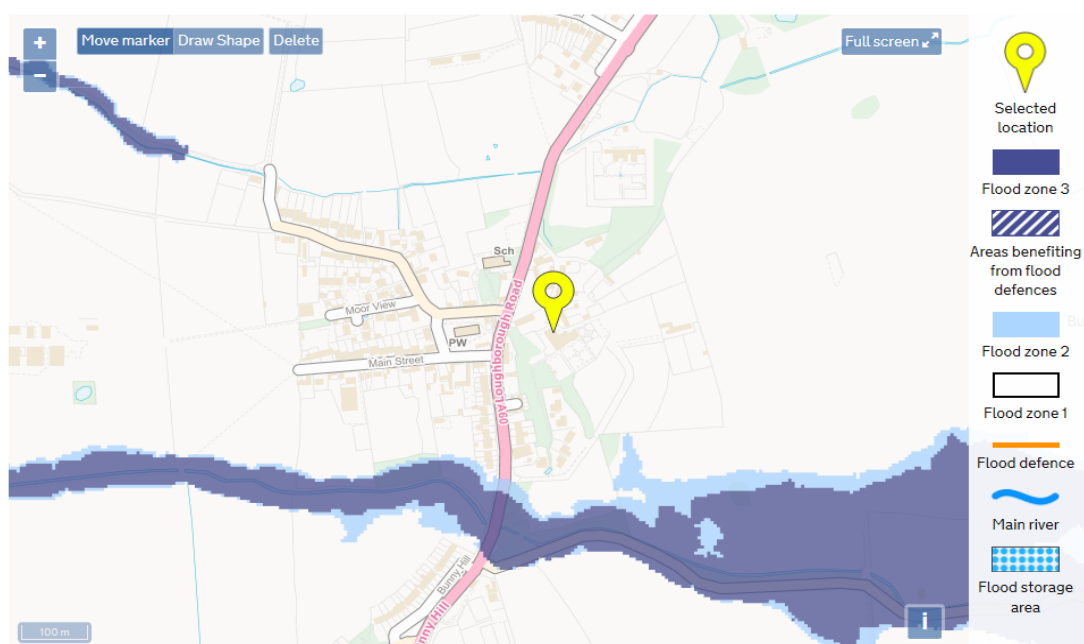
We have not undertaken detailed investigations into the potential for flooding of the land on which the property lies. However, we have consulted the website at [www.environment-agency.gov.uk](http://www.environment-agency.gov.uk) of the Environment Agency and their information regarding the potential for flooding suggests that the buildings of the site are not at direct risk from flooding though some areas of the grounds are at flood risk.

### Likelihood of flooding in this area

You can move the marker  on the map to identify a specific location. Alternatively draw a shape to identify an approximate site boundary.

[How to draw a shape](#)

[Download printable map \(PDF\)](#)



### Tree proximity

The proximity of trees to buildings can give rise to concern because structural damage can be caused by root systems growing around, under and sometimes through foundations and subterranean walls. The risk of damage caused by tree roots depends on:

- the proximity of the tree to the building concerned
- the height, age and species of tree
- the design and depth of a building's foundations



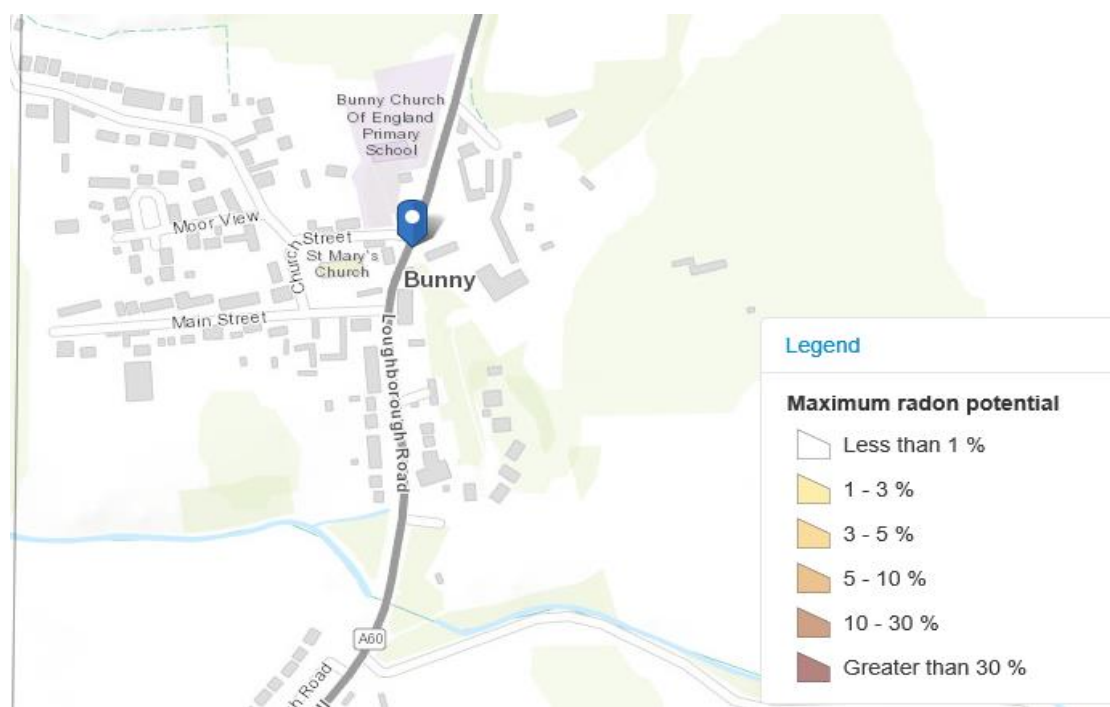
- the type of sub-soil

There are mature and maturing trees in close proximity to the building, though these do not appear to be adversely affecting the property and its foundations to any significant extent at the time of survey. The growth of these trees should be monitored and, if necessary, controlled in due course.

We are mindful of the proximity of mature/historic tree growths within and adjacent to the property. Subject to any tree preservation order constraints we recommend the growth is managed and maintained or removed to reduce future nuisance and/or injury risks.

We recommend enquiries via your Solicitor to confirm whether any tree preservation order exists for any plantings to the property or close to its boundaries. Your Solicitor should also advise on any associated constraints and obligations. Should any tree growth be shown protected by a tree preservation order there may be a requirement for stabilisation rather than removal. No apportionment has been included at this stage for any conversation or management works with any apportionment being speculative and non-quantifiable.

#### Radon risk



Radon is a radioactive gas that occurs naturally in the ground. It occurs when uranium decays. Uranium is found in small quantities in all soil and rocks. Decaying uranium turns into radium and when radium, in turn, decays, it becomes radon. Uranium can also be found in building materials derived from the rocks.

Radon rises through cracks and fissures in the ground into the air. Outdoors, radon is diluted and the risk it poses is negligible. Problems occur when it enters enclosed spaces, such as a building, where concentration levels can build up. When this happens, it can cause a significant health hazard to the occupants of a building by increasing the risk of lung cancer.

Radon is everywhere, but usually in insignificant quantities. General technical information on Radon can be obtained from Public Health England. Their website address is <https://www.gov.uk/government/organisations/public-health-england>

Following the legal searches, if Radon, as an environmental hazard, is something that you are particularly sensitive to, further investigations and, if necessary, testing should be considered for an assessment of the site's exposure.

### **Electromagnetic fields and microwave exposure**

There has been concern that electromagnetic fields from both natural and artificial sources can cause a wide range of illnesses such as blackouts, insomnia and headaches to depression, allergies and cancer. Artificial sources commonly comprise overhead or subterranean high voltage electrical power cables.

It is suggested that the electrical discharges from these high voltage cables upset the balance of minute electrical impulses employed by the human body to regulate itself in much the same way as television and radio signals can be disrupted.

Controversy and uncertainty prevail with regard to this matter; no strong evidence that is generally accepted to be conclusive has been developed to prove or disprove this alleged hazard. More information is available from the National Radiological Protection Board's website. You should be aware that the presence of power cabling in the vicinity of a building can affect its value and liquidity in addition to the health of those occupying the property.

For this reason, during our inspection we looked for any visual indications that electrical power cables are located under, on or over the property or adjacent to it. We have not undertaken any separate inquiries with the relevant statutory authority however.

We did not note any high voltage cabling in the immediate vicinity of the property, but such cabling might exist below ground, at some distance or out of sight.

### **Invasive vegetation**

We did not note the existence of any Knotweed or Hogweed around the property. However, we have not carried out a thorough inspection of the whole garden or Knotweed due

diligence survey, or environmental searches, all of which fall beyond the scope of our building survey.

Japanese Knotweed was introduced into the UK in the 19th century. It grows vigorously and can cover large areas to the exclusion of most other plant species. It has been known to grow through bitumen macadam, house floors and sometimes through foundations. The identification of Knotweed can materially impact the saleability and value of a property. For this reason, during our inspection we looked for any obvious visual indications of knotweed plant growth. None were indicated to accessible areas within the scope of this Building Survey. No inspection was completed beyond the site limits.

We recommend the completion of conveyancing and environmental searches by your Solicitor.

Beyond this, professional knotweed survey and advices on relevant legislation is the area of the Knotweed specialist and falls beyond the scope of this survey. If knotweed, as an environmental hazard, is something that you are particularly sensitive to, is of particular concern, or might affect your proposals for the property, further independent professional investigations/survey and specific risk assessment are recommended by a suitably qualified and experienced specialist prior to any commitment to purchase. Falling outside the scope of this report, no apportionment is included in this respect. Our reporting is otherwise limited in this respect.

#### **Wood Boring Insects (Woodworm)**

We have not undertaken a detailed investigation into the potential for insect activity as this would cause for intrusive works to be carried out. Where evidence of insect/beetle activity is found, our surveys include an examination for fresh flight holes/tunnels, bore dust/frass, larvae and adult beetles/insects and carcasses, together with any evidence of structural compromise.

Insect activity was noted to the majority of the timbers around the property where we cannot confirm that the infestation is dormant. Unless a recent certificate to confirm that the infestation is dormant is available then we would advise that the timbers around the property are inspected by a specialist timber company where if the infestation is found to be active then it will be necessary to increase ventilation in order to remove moisture from the timber.

Due to the age of the property we would advise against treating the timbers with chemicals in order to prevent damaging the timbers.

### **Fungal Decay (Dry Rot and Wet Rot)**

We have not undertaken a detailed investigation into the potential for Fungal Decay, however at the time of our inspection no active decay was noted to any of the inspected timbers and all timber floors felt firm underfoot indicating that all floor timbers were free from fungal decay

Moist and damp conditions provide an ideal environment for fungal attack. In cases where the moisture content is over 20% this is classified as 'dry rot'. Fine grey strands of fungus spread through wood and other materials developing into sporophores which give off spores which in turn spread the fungus further. Timber suffering from dry rot becomes very dry and brittle and begins to fracture to such an extent that it can be broken and crumble by hand. When the moisture content is higher than 40% to 50% this is classified as 'wet rot'. The presence of wet rot in timber is recognised by a dark brown staining colour and splitting or longitudinal cracking.

Treatment of fungal decay is initially to remove the source of the dampness which is enabling the fungus to 'feed' and develop. Exposure works will then be necessary to determine the full extent of the damage caused. Following any repairs or replacement works it will be necessary to treat the timbers with an approved fungicide to safeguard against recurrence.

### **Damp**

Tests were conducted with an electronic moisture meter at appropriate positions throughout the property (except where impermeable surface finishes, furniture, fitted cupboards and stored goods prevented access to take readings).

The inner face of external walls was checked at random intervals with a moisture meter. Elevated damp levels were noted within the pool area kitchen which have resulted in salt evaporating from the brickwork and floor. This is of no significant concern with the area not forming a habitable part of the property however it should be noted that any items that come into contact with the floors and walls may be prone to perishing.

### **Legionnaire's Disease**

Legionnaires' disease is a type of pneumonia, caused by a bacterium called legionella pneumophila which is found naturally within the environment. Legionella bacteria require suitable temperatures and nutrients from a water source to multiply. Humans normally catch Legionnaires' disease by inhaling the bacteria contained in small droplets of water suspended in the air.

Certain conditions increase the risk of legionella growing and spreading. These include:



- a suitable temperature for growth, between 20 and 45°C. The optimum temperature for legionella bacteria is 35°C
- lack of disinfectant in the water system or water treatment
- irregular water flows and/or long-term stagnation of the water
- a favourable substrate or biofilm. A biofilm is formed where groups of microorganisms adhere to each other on the surface of a material, which can happen on any kind of surface. Even perfectly hygienic potable water contains bacteria and the nutrients that fuel their growth, and biofilms develop in all water-conveying systems, irrespective of the material used
- the use of equipment which aerosolises (creates droplets) from the water.

Particular risks at a domestic property level are associated with private water supplies, pools, water features and fountains, irrigation systems and sprinklers, water softeners, air-conditioning systems and spas. These systems should be regularly cleaned and flushed though.

The risks can be greater to those in susceptible groups of the population, such as immunosuppressed patients and those with underlying diseases or conditions.

There are some general approaches that can be taken to avoid legionella growth that we would advise. These include:

- keeping cold water cold (below 18°C) (including in pipework runs where possible)
- keeping hot water hot (above a minimum of 55°C), throughout the plumbing network during normal use
- designing and installing the drinking water system in such a way that stagnation of the water under normal use conditions is avoided
- removing sediment, which can support the growth of Legionella, on a regular basis
- minimising the formation of biofilm by ensuring cleanliness during installation and start-up, and reducing scaling and corrosion as much as possible. This can be achieved through the choice of appropriate system design, materials and maintenance regime
- regular servicing and cleaning of mechanised water treatment/movement systems and points of water droplet formation (e.g. spray/shower heads).

Further information can be found by visiting:

<https://www.hse.gov.uk/legionnaires/legionella-landlords-responsibilities.htm>  
<https://www.hse.gov.uk/pUbns/priced/l8.pdf>

If this is something that you are particularly sensitive to, further independent professional investigations and specific risk assessment may be completed by a suitably qualified and experienced Legionella Consultant.

**Neighbouring Use**

Non-residential land use was noted to the adjoining grounds being the adjoining Public House abutting the property curtilage. Common issues arising from non-residential use include: artificial light, noise, smells, rubbish/storage of materials, vermin/insects, unsociable working hours, and encroachment, though this list should not be considered exhaustive. In the vast majority of cases no problems are caused/encountered. Where problems are caused however these can be intrusive and disruptive to the normal enjoyment of a property and materially impact the saleability and value of a property. Sensitivity to such issues can be highly subjective.

We have not carried out a thorough inspection of the surrounding area for non-residential land use, or due diligence survey/analysis, or environmental searches, all of which fall beyond the scope of our survey.

During our inspection we looked for any obvious indications of any significant issue. None were obvious to accessible areas within the scope of this Building Survey and the property limits. No inspection was completed beyond the site limits and our survey is notably for a brief period on a single day and may not reflect normal conditions.

**Transport Noise**

The property is offset from the road transport network. Transport noise can be intrusive and disruptive to the normal enjoyment of a property. The issue can also materially impact the saleability and value of a property.

At the time of our building survey, intrusive noise levels audible by ear were noted from the property, though not considered excessive. Our building survey however was for a brief period on a single day and may not reflect peak traffic/transport conditions. Sensitivity to transport noise is highly subjective.

We have not carried out any enquiries, or noise survey/analysis, all of which fall beyond the scope of our survey. If the issue causes you particular concern, we recommend you obtain further independent professional advice from a suitably qualified and experienced Acoustic Consultant, including the provision of Measured Noise Surveys and Impact Assessment. Falling outside the scope of this report, no apportionment is included in this respect.

**Unexploded Ordnance**

The risk of encountering unexploded ordnance (UXO) on most sites in the UK is low. Historic undetonated ordnance over time can degrade and become unstable, or respond to intrusive

development activities on a site, presenting risks of both explosion and/or the release of environmental pollutants.

Our survey does not include any due diligence survey, assessment or appraisal of the risks of unexploded ordnance.

If this is something that you are particularly sensitive to, or may affect your proposals for the property, a further independent preliminary desk-based risk assessment (screening report) is recommended as part of your property searches, to place the property site in context and to identify where a more detailed assessment may be necessary. The preliminary risk assessment may identify particular risks, based upon the history and previous usage of a site and its surroundings. In that event a detailed UXO Risk Assessment would be recommended, to quantify the specific probabilities of UXO threat and potential consequences, including a risk rating and any risk mitigation measures required. Falling outside the scope of this report, no apportionment is included in this respect.

We recommend to protect your future financial risks and to limit the risks of future difficulties in the sale of the property, that the preliminary assessment at a minimum is completed prior to any commitment to purchase.

### **Asbestos**

We noted no possible asbestos containing materials around the property.

We have not undertaken an asbestos survey at the property and it is important to note that any property up to the year 2000 may have within it asbestos containing materials (ACMs).

We have tried to point out any obvious possible asbestos containing materials at a property, however ACMs can be covered within ducting or hidden by decorative finishes.

Should asbestos be of a particular concern to you we would recommend that a survey is carried out by an appropriately qualified asbestos surveyor.

The HSE provides a very helpful website on asbestos, where it can be found and how to manage it <http://www.hse.gov.uk/asbestos/index.htm>.

### **Other hazards to be considered**

- Pervasive fuel odours within the ground floor staircase hall area and boiler room, further survey has been recommended by a suitably qualified heating engineer
- Detached/delaminated building materials especially at high level. Localised inspection/consolidation has been recommended.
- Low level glazing. Safety glazing is indicated to some areas with additional measures are indicated.

- Complications to emergency escape routes, the property is large and complex and would not meet modern Building Regulation requirements in terms of escape routes. The building is historic and there are no requirements for retrospective compliance. The matter is raised pending familiarity with the building by users.
- Uneven stairs, doors across stairs
- Falls from height, historic safety rails/balustrades require improvement.
- Falls from height, lack of fall arrest system to main house roof.
- Deep water, care is required around the balancing pond to the development on entry from the roadside.
- Automatic gates. These can cause crushing injuries if used without care or if safety cut outs are ineffective. Regular servicing is recommended.
- Changes to ground levels, the ha-ha wall is a historic detail.
- Legionnaires disease.
- Inadequate restraint provided by balustrading around glazed stair lightwell.
- Excessive gaps between staircase balustrades, in particular to the tower stair
- exposed electrical installations/connections

There are particular additional safety risks to building users commonly associated with historic materials/buildings.

- Hair in historic plasterwork/former animal house, anthrax material risk.
  - Historic wallpapers, arsenic materials used as a colour fixative.
  - Old electrical installations and oil filled equipment, PCBs.
  - Historic timber treatments, lindane and creosote materials.
  - Lead pipework/paint, lead materials.
  - Historic electrical installations, decay of insulation materials/potential exposure of live cable cores.
  - Historic flues can contain combustible soot/tar deposits and should be swept prior to reuse.
  - Structural timbers may project into flues and the chimney should also be inspected prior to reuse.
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## 12. Summary of findings and anticipated costs

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It is important that the report should be considered in its entirety before proceeding. If there are any points in the report which require clarification or on which you require further advice, please do not hesitate to contact us. Whilst we do not attempt here to reiterate all of the points contained in the main body of the report, the following synopsis of the more significant matters and associated costs may be of some assistance:

The property is a three storey large detached property dating we are advised from the 18<sup>th</sup> Century though with possible earlier building remnants, with slate finished roofing, load bearing walls with brick, stone and rendered elevations and suspended timber flooring generally with some solid floor construction at ground floor level.

The general condition of the property is satisfactory with no major defects or major repairs noted.

The property appears to be free of ongoing significant structural movement. The property has suffered historic movement to various degrees to different areas and this is common in a property of this age and construction. In the absence of recent or ongoing significant structural compromise or recent or ongoing significant structural movement this is considered satisfactory. We would anticipate minor movements continuing to show seasonally around the building and this is normal. In the absence of any significant structural compromise or significant structural risk we recommend these are addressed as cosmetic issues internally and as weather tightness repairs externally. As maintenance issues no apportionment is included in this respect.

We are also mindful of the significant age of the property together with indications of significant surviving structural remnants historically. Such buildings can contain enclosed historic remnants and structures which may not be built-in or tied into the main structure. Our reporting is limited in this respect and is based on a non-intrusive visual inspection. The incorporation of any remains is common and usually does not present any significant structural issue, often only being discovered when the circumstances of a building change and these are revealed. No apportionment is included in this respect or for any consequential issue arising from such construction.

A significant slope of the floors and ceiling was noted at second floor. This is not considered unusual for the age of the property with there being no recent movement evident at the time of our inspection. We therefore consider the movement to be historic and non-progressive.

A number of hairline thermal cracks were noted to the plaster finishes throughout the property which were of no structural concern and requires filling prior to decoration.

There were some issues arising from our inspection. We recommend the following issues are investigated/addressed prior to any commitment to purchase to manage your future financial risks and any future saleability issues.

- Obtain clarification via your Solicitor of the external render materials. Cementitious materials can be damaging to historic buildings, create significant cost liabilities, and where unauthorised works to a listed building have been completed create significant legal liabilities.
- Obtain clarification via your Solicitor that all requisite Statutory Approvals have been obtained, that all necessary building inspections have been completed and that all Statutory Approval conditions have been complied with fully. This is crucial to Listed Buildings where the liability passes on to the new owners of the building with the potential for both financial and custodial sanctions available at law.
- Electrical testing
- Inspection of timber insect activity
- Preliminary assessment of unexploded ordnance risks

We recommend you address the following matters in the short term. Safety issues together with structural and weather tightness repairs should be prioritised.

- External render repairs. Estimated Cost £700.
- Rainwater goods repairs. Estimated Cost £550.
- Roofing repairs. Estimated Cost £2,800.
- Stonework repairs, rust jacking, defrassing, consolidation and removal of detaching sections. Estimated Cost £6,200.
- Glazing repairs/replacement. Estimated Cost £500.
- Brickwork repairs. Estimated Cost £6,400.
- Leadwork repairs. Estimated Cost £1,100.
- Stabilisation/improvements to belvedere balustrading. Estimated Cost £8,000.
- Electrical attendance. Estimated Cost £500.
- Paving repairs. Estimated Cost £650.
- Attendance on external electrical and pump chambers. Estimated Cost £1,100.
- Repairs to entry gate/pillars. Estimated Cost £6,000.
- General boundary wall repairs. Estimated Cost £18,000.
- Urgent boundary wall repair works. Estimated Cost £9,000.
- Repairs to equestrian facilities. Estimated Cost £,2000
- Lightning conductor installation repairs. Estimated Cost £400.

- External timberwork repairs. Estimated Cost £200.
- Replace ventilation louvre. Estimated Cost £50.
- Strengthen internal lightwell balustrading. Estimated Cost £1,200.
- External lighting repairs. Estimated Cost £300.
- Espalier cabling repairs. Estimated Cost £100.
- Fencing repairs. Estimated Cost £300
- Arboricultural inspection. Estimated Cost £600.
- The windows require general overhaul to include localised repairs, decoration and replacing of any damaged glazed panels. Although we do not consider the windows to require replacing, it should be noted that due to their age and extent of the single glazing, they will be relatively inefficient, therefore consideration should be given to installing draught seals. Estimated Costs for initial repairs and decoration to the windows £3,000.
- Where the rooms are heated by electric panel heaters, consideration should be given to installing a wet central heating system which connects to the main boiler. This will improve the thermal efficiency of the property.
- The staircase within the tower is an original and has been subject to prolonged insect infestation which has weakened the structural timbers. Localised makeshift repairs have been carried out to the staircase however we would advise that the supporting joists are strengthened with the staircase then repaired to a good workmanship standard to prevent its further deterioration. We also recommend improvements to the stair balustrading to provide safe use. Until such time that the staircase has been repaired and made safe, we would advise against its use in order to reduce the risk of injury. £8,000
- Where we noted damp staining to the ceilings beneath the sanitary fittings, we have advised that the seals be renewed in the immediate term with the damp staining then stain blocked and decorated. Consideration should then be given to removing the side panels from the bath to allow an inspection of the concealed floor joists to ensure that no rot has occurred as a result of prolonged saturation.
- Where we noted slight damp staining to the ceilings beneath the flat roofs, where we consider the lead linings to have lifted, we have advised that a competent roofing contractor be instructed to inspect the roofs and repair as necessary. We would then advise that the damp staining is stain blocked and decorated.
- The insulation within the roof voids would benefit from being uprated in order to reduce heat loss.
- The tennis court house internally requires general refurbishment to include localised plaster repairs and replacement of the doors and windows. Estimated Cost £2,000

- The pool area felt excessively hot at the time of our inspection. It is possible that extraction can be increased using the existing plant however this should be confirmed by a competent pool contractor.

In the longer term the property should be managed and maintained to reduce decay, material failure and any associated financial costs. No maintenance costs have been apportioned within this reporting. General advices relating to historic property maintenance are included in Section 17 below. Specific longer term maintenance and repair issues highlighted by our survey include:

- Brickwork repointing and repairs.
- Replacement of the tower belvedere lead roofing.
- Driveway refinishing
- Installation of a high level fall arrest system

The property is a large historic property of significant historic and architectural merit. The building is indicated conserved to a good standard generally. We recommend the use of a quinquennial (5 yearly) inspection regime to assist with the management of the building and its repair and to allow affective budgeting and planning of costs.

No apportionment has been included in respect of the recommendations of any Energy Performance Certification reporting/recommendations. These fall outside the scope of this reporting.

We have recommended obtaining confirmation of the last service dates for the gas and electrical installations and a copy of the service information. If no certificates are available, we have recommended gas installations throughout the property are tested/inspected by a suitably qualified Gas Safe Registered Engineer and electrical installations throughout the property are tested/inspected by a suitably qualified NICEIC Approval Electrical Engineer.

Our survey does not constitute and should not be read as any arboricultural assessment. Where specific significant safety issues are identified these will be highlighted within the scope of our reporting, though our reporting is otherwise limited in this respect. There were significant historic tree growths identified at the time of our survey. To manage your future risks we recommend the appointment of a suitably qualified arboricultural consultant to identify and provide pricing on any significant associated issues. Should you decide to exchange contracts without obtaining this information, you must accept the risk that additional issues and significant costs entailed.

Your legal advisers should check whether local authority notifications and approvals for the:



- Adaptation/incorporation of the porte-cochere within the domestic accommodation,
- addition of the orangery,
- front left single storey extension,
- replacement of door and window installations,
- internal pool construction,
- creation of ha-ha/retaining walls,
- building above ha-ha wall around formal gardens to front,
- equestrian facilities,
- use of cementitious render if this shown following solicitors enquiries
- heating and hot water systems
- high level roof atria
- garden water features
- tennis court and pavilion
- the adaptation of roof void spaces to create the current second floor accommodation
- internal chimney removal

were obtained where needed, that all statutory inspections have been made and that all works have been completed in accordance with approvals and any conditions attached. If regulations have been breached or work carried out without the necessary approvals and inspections, then extensive and costly alteration works may well be needed to ensure compliance.

In addition to planning and building regulation approvals, your Solicitor should confirm the obtaining of specific heritage consents for previously completed works, and that all works have been completed in accordance with any conditions contained within those heritage consents.

The scope of works falling within the controls imposed by Heritage designations have notably changed over time and checks should be made against requirements at specific dates correlating with periods of development to the property. Your Solicitor should advise you of additional liabilities attached for unauthorised works to heritage properties, including for those works completed by previous owners. Your Solicitors should advise on the taking out of indemnity insurances, though we would highlight that these are a cover for the costs of legal actions and remedial works rather than an indemnity at law for any offence created and/or any prosecution/enforcement action proceedings.

Your Legal Advisor should check for the existence, validity and transferability of guarantees and certificates, together with service agreements and engineers certificates for the:

- Double glazing and replacement single glazing installations
- Electrical system and equipment

- Gas installations; heating, underfloor heating, hot water, gas fires and cooking appliances
- Fire detection, alarm and any remote monitoring systems
- Security, CCTV and any remote monitoring systems
- Ventilation and air handling systems
- Lightning conductor installation
- Pool heating, filtration and automated cover systems
- Sauna and steam room installations
- Whirlpool baths
- Gate entry system
- Water pumps, including the balancing pond and garden features
- Any septic tank or sewage treatment plant serving the equestrian facilities

These should be assigned to you as the new owner of the property.

During the course of our survey several helicopters were noted flying above the property. We recommend enquiries via your Solicitor to confirm any established or planned flight paths together with details of frequency/types of flights and any current limitations on flight above the property together with the nature and extent of any known/reported nuisance issues.

As far as we are aware the property is not detrimentally affected by any current planning or other environmental matter, however no enquiries have been made and your Legal Advisor should carry out all local searches prior to exchange of contracts and advise you fully in this respect.

**Note:** at this time, we can offer little more than preliminary estimated costs for the works indicated above. However, based upon our experience of similar schemes we consider the estimated costs to be reasonable. These costs do not include any allowances for possible items of external/internal decoration. We must strongly advise against basing a firm financial judgement entirely upon the estimated costs stated. They are intended purely as a guide and must be treated with caution until detailed tender documents have been prepared and competitive quotations have been obtained. We recommend that quotations for the works are invited from reputable contractors. They should carry all necessary Liability Insurance and be affiliated to a recognised trade association and be prepared to provide an underwritten warranty relating to the quality of their workmanship. Agreement regarding the provision of such warranties should be obtained before entering into a Contract for the works.

## 13. Conclusion

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The property appears to be in a satisfactory condition subject to normal weathering and wear and tear consistent with the age and location of the property with no evidence of significant structural defects noted.

Historic movement was indicated and in line with our advice above there are no indications of ongoing significant issue or compromise.

Further investigation/assessment has been recommended for the following issues prior to any commitment to purchase.

- Obtain clarification via your Solicitor of the external render materials. Cementitious materials can be damaging to historic buildings, create significant cost liabilities, and where unauthorised works to a listed building have been completed create significant legal liabilities.
- Obtain clarification via your Solicitor that all requisite Statutory Approvals have been obtained, that all necessary building inspections have been completed and that all Statutory Approval conditions have been complied with fully. This is crucial to Listed Buildings where the liability passes on to the new owners of the building with the potential for both financial and custodial sanctions available at law.
- Electrical testing
- Inspection of timber insect activity
- Preliminary assessment of unexploded ordnance risks

Various other items and repairs requiring attention have been highlighted and referred to throughout this report.

We have also recommended enquiries are made via your Solicitor to confirm any relevant:

- Ownerships, use, property rights, entitlements, obligations, liabilities or restrictions together with any covenants or agreements.
- Statutory designation/protections, together with the obtaining of all approvals
- Guarantees, certificates, servicing, inspection, any permit and licensing arrangements.
- Any known disturbance, nuisance, property land use or environmental issues.
- Any public or private rights of way through or around the property
- Any commercial or financial arrangements including restoration grants and associated terms, and any commercial leasehold or similar arrangements

With the exception of the pre-purchase Solicitors enquiries, gas and electrical surveys, other solicitors enquiries and advice as detailed above in this report there are no outstanding issues or further surveys required.

Internally the property is relatively tired therefore will require cyclical decoration and professional cleaning of the sanitary and kitchen fittings.

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## 15. Surveyor's declaration

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"I confirm that I have inspected the property and prepared this report"

Signature



Surveyor's name

Nicholas Kelly

Surveyor's RICS number

1132311

Surveyor's qualifications

MA FRICS MCIfA IHBC, RICS Certified  
Historic Building Professional

"I confirm that I have inspected the property and prepared this report"

Signature



Surveyor's name

Timothy Allcott

Surveyor's RICS number

1231965

Surveyor's qualifications

MRICS, MCIOB, C.Build, E FCABE

[For and on behalf of](#)

[Allcott Associates LLP](#)

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## 16. What to do now

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### Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should obtain reports and quotations for all the repairs and further investigations the surveyor may have identified.

You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do
- request that the contractors put the quotations in writing.

Some repairs will need contractors with specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). Some work may also need you to get Building Regulations permission or planning permission from your local authority.

### Further investigations

If the surveyor is concerned about the condition of a hidden part of the building, could only see part of a defect or does not have the specialist knowledge to assess part of the property fully, the surveyor may have recommended that further investigations should be carried out to discover the true extent of the problem.

Who you should use for these further investigations?

You should ask an appropriately qualified person, though it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government approved schemes. If you want further advice, please contact the surveyor.

### What the further investigations will involve

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed and so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

In order to access the Terms of Engagement and Description of Service please copy and paste this link on your browser

<https://www.allcottassociates.co.uk/buildingsurveyterms/>

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## 17. Maintenance tips

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### Outside the property

You should check the condition of your property at least once a year and after unusual storms. Your routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

**Chimneystacks:** Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aials or other fixings, including the materials used to form the joints with the roof coverings.

**Roof coverings:** Check these occasionally for slipped, broken and missing tiles or slates, particularly after storms.

Flat roofing has a limited life, and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.

**Rainwater pipes and gutters:** Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.

**Main walls:** Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove any plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proofing (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.

**Windows and doors:** Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and cills and window boards for any damage.

**Conservatories and porches:** Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it is raining. Arrange for repairs by a qualified specialist.

**Other joinery and finishes:** Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

### Inside the property

You can check the inside of your property regularly when cleaning, decorating and replacing carpets or floor coverings. You should also check the roof area occasionally.

**Roof structure:** When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.

**Ceilings:** If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.

**Walls and partitions:** Check these when you are cleaning or redecorating. Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.

**Floors:** Be alert for signs of unevenness when you are cleaning or moving furniture, particularly with timber floors.

**Fireplaces, chimneybreasts and flues:** You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated. Flues to gas appliances should be checked annually by a qualified gas technician.

Built-in fittings, woodwork and joinery: Check for broken fittings.

We have attached specific guidance titled “A Stitch In Time” from the Institute for Historic Building Conservation and the Society for the Protection of Ancient Buildings, providing best practice advice on the maintenance and care of historic buildings.

### Services

Ensure all meters and control valves are easy to access and not hidden or covered over. Arrange for an appropriately qualified Gas Safe Engineer or Registered Heating Engineer to check and test all gas and oil services, boilers, heating systems and connected devices once a year.

Electrical installations should only be replaced or modified by a suitably qualified electrician and that a periodic inspection and testing is carried out at the following times: for tenanted properties every 5 years or at each change of occupancy, whichever is sooner; at least every 10 years for an owner-occupied home.

Monitor plumbing regularly during use and when you are cleaning. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.

Lift drain covers annually to check for blockages and clean these as necessary or seek advice from a Certified Drainage Contractor. Check any private drainage systems annually, and arrange for a qualified contractor to clear these as necessary. Keep gullies free from debris.

## Grounds

**Garages and outbuildings:** Follow the maintenance advice given for the main building.

**Japanese knotweed or other non-native species:** seek advice from an 'appropriately qualified person or company' such as an accredited member of an industry recognised trade association.

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